



Board of Zoning Appeals

June 2, 2021

Board Meeting

Minutes

5:30 PM

CALL TO ORDER

Attendee Name	Title	Status
Michael Percy	Chairman	Present
Susie L. Simpson	Member	Present
Don Carr	Vice-Chairman	Present
William Smith	Member	Excused
Otho Eyster	Alt. Member	Excused
Tonya Boucher	Member	Present
Kate Aryanata	Alt. Member	Present

Others in attendance: Addison Beaver; Brad Beaver; Lacie Blankenhorn, City Development Services Manager; P. Rob. Broeren, City Law Director; Rick Dzik, City Zoning Enforcement Officer; Mike Hillier

MINUTES APPROVAL

- Board of Zoning Appeals - Board Meeting - Apr 7, 2021 5:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Susie L. Simpson, Member
SECONDER:	Tonya Boucher, Member
AYES:	Percy, Simpson, Carr, Boucher, Aryanata
EXCUSED:	Smith, Eyster

BZA FILES

- 2021-BZA-08 : 810 N Sandusky ST - Variance for Accessory Structure Larger Than 35% of the Primary Structure

Brad Beaver (sworn in) - explained his request for a variance to construct a 60' x 100' storage building for Mount Vernon Overhead Door. The business is growing and more storage is needed for stock and to keep things locked and secured.

Mr. Percy confirmed with Mr. Broeren that 2 primary buildings can't be approved, so this construction request is considered an accessory structure. The original building is 6,600 sf. The requested structure is considered accessory because it supports the main buildings purpose. 2 variances are needed; for height and area. The height of the proposed building will not exceed 28'.

Mr. Carr asked for clarification on the narrative statement that says water retention and site prep was prepared already for the possibility of this building. Define what water retention means in this text.

Mr. Beaver said the area where this building is planned was already compacted. ADR, who did the stormwater calculations, accounted for the area being covered. The water retention pond was sized to accommodate this proposed building.

Mike Hillier (sworn in) - stated part of what we have here is a Code conflict, residential compared to commercial. This commercial business wants to expand and the Accessory Structure Code covers residential and commercial with no distinction. Mr. Hillier walked the property with Mr. Beaver. Mr. Hillier's concern was residential impacts. There is no residential area around it what so ever. He believes it fits the area well. The roof will be lower than the primary building. He doesn't see any reason why this wouldn't work. It's not an eye-sore in the middle of a residential area. It fits the property well. They are good for the neighborhood.

Rick Dzik (sworn in) - explained his discussion with Mrs. Blankenhorn about this request. He does not see any issue with it. Attention was drawn to the blanket 35% of the primary structure limit. The request appears to be an adequate use of the existing property and supports the business well. He agrees the Code needs to be updated with regard to the limits on accessory structures in commercial districts. 35% makes sense in residential districts. Interestingly, there is an exception to the size in residential districts for parking vehicles off-street. There are no listed exceptions for commercial districts.

Mr. Percy pointed out you can cover 90% of a general business district zoned lot.

Mr. Dzik supports the requested use.

Submitted communication: Isaac White, owner of the property to the East, Revere Roofing at the corner of Upper Fredericktown RD and SR13: He does not have any problem with the addition of this building. He doesn't see any negative impact on the area properties or the City of Mount Vernon. He is supportive of the request.

Mr. Carr made a motion to approve the variance request for an accessory structure larger than 35% of the primary structure and a height not to exceed 28'.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Don Carr, Vice-Chairman
SECONDER:	Tonya Boucher, Member
AYES:	Percy, Simpson, Carr, Boucher, Aryanata

ADJOURN AT THE CALL OF THE CHAIRMAN

A future discussion will be scheduled to assemble operational rules for the Board of Zoning Appeals, such as how motions should be made in the affirmative.

There is a BZA meeting on June 16, 2021.



Board of Zoning Appeals Meeting: 06/02/21 5:30 PM
City of Mount Vernon Dept: Board of Zoning Appeals
Mount Vernon, OH 43050

ADOPTED

Category: N/A
 Prepared By: Lacie Blankenhorn
 Initiator: Lacie Blankenhorn

BZA FILE (ID # 2337)

DOC ID: 2337

**2021-BZA-08 : 810 N SANDUSKY ST - VARIANCE FOR ACCESSORY STRUCTURE
 LARGER THAN 35% OF THE PRIMARY STRUCTURE**

Item Number	2021-BZA-08
Site Address	810 N Sandusky ST
Parcel Number	66-00627.000
Zoning District	GB – General Business
Presented By	Brad Beaver, Mount Vernon Overhead Door

Quick Guide to Codified Ordinance Sections (may not be inclusive):
 1167 GB General Business District
 1173 Supplementary District Regulations (1173.04 – 1173.06; 1173.10; 1173.11)

Request: Mount Vernon Overhead Door requests to build a 60' x 100' storage building.

The primary structure is 50' x 132' (6,600 sf).

COMMENTS - Current Meeting:

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RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Don Carr, Vice-Chairman
SECONDER:	Tonya Boucher, Member
AYES:	Percy, Simpson, Carr, Boucher, Aryanata



City of Mount Vernon, Ohio
Board of Zoning Appeals

Request for Hearing

Applicant's Information			
Owner's Name, Address and Phone <i>Brad Beaver 810 North Sandusky ST 740-397-2536</i>			
Agent's Name, Address and Phone <i>_____</i>			
Site Information			
Site Address <i>810 North Sandusky ST.</i>		Legal Description <i>13.61 NPT of 13.156 AC</i>	
Parcel Number <i>66-00627.000</i>	Deed Volume and Page Number <i>1518/663 1808/504</i>	Zoning District <i>GB</i>	
Existing use of property <i>MT. Vernon Overhead Doors</i>		Proposed use of property <i>MUOD Storage</i>	
Hearing Request			
Type of Hearing Requested			
☒ Variance ☐ Conditional Use ☐ Appeal of Decision ☐ Map Interpretation ☐ Substantially Similar Use			
In the following section, please list a brief description of the request. Narrative statements and any additional documents or information required by the Zoning Code and Chapter 1155 should be attached to this application as separate sheets.			
Request:			
I hereby certify that the information submitted on this application and on any sketches, drawings or other documents submitted with this application is true and exact. Date: <i>5-7-2021</i> By: <i>Brad Beaver</i>			
Status of Application			
Filing Date <i>5/7/21</i>		Case Number <i>2021-BZA-08</i>	
		Hearing Date <i>June 2, 2021</i>	
		Fee deposit <i>\$75.00</i>	Date Paid <i>5/7/21</i>
Status of Board's Action			
☐ Approved ☐ Denied			

Attachment: 2021-BZA- 08 Application (2337 : 2021-Bza-08)

Mount Vernon Overhead Door

Sales • Service • Commercial • Residential

810 North Sandusky Street, Mount Vernon, OH 43050

Phone: 740.397.2536 Fax: 740.397.4942

5-10-2021

Application and Standards for Variances:

- 1.) The variance will be in accord with the general purpose and intent of the regulations imposed by this zoning ordinance at the district in which it is located, and shall not be injurious to the area of otherwise detrimental to the public welfare.
- 2.) By granting us this variance, we will not use it for something that is not permitted in the district.
- 3.) We are adding a building for storage for Mount Vernon Overhead door and potential growth to the business. A lot split was considered. Maintaining 1 parcel is preferred because the proposed additional storage structure will directly support the existing business. A lot split would also require shared use easements of the stormwater facility, water and wastewater access as well as the access entrance of SR 13.
- 4.) Mount Vernon Overhead has grown over the past year. We have had to order doors and supplies ahead of time due to the delays with Covid 19 so the additional space will help us to store that. We also would like to have growth in the company. Water retention and site prep was prepared already for the possibility of building.
- 5.) By getting the variance we will use it for reasonable use of the building.
- 6.) We will have adequate supply of light and air to adjacent property, it will not increase the congestions on public streets, or increase the danger of fire, public safety and will not diminish or impair property values of the adjacent area.
- 7.) I understand that the granting of the variance requested will not confer on the applicant any special privileges that is denied by this regulation to other lands, structures, or buildings in the same district.

Sincerely,

Brad Beaver



City of Mount Vernon, Ohio
Application for Zoning Permit

Permit No. _____

2021267

Application			
Owner's Name, Address and Phone and e-mail <i>Brad Beaver 810 N. Sandusky ST. 740-627-0899 brad@muohd.com</i>			
Contractor's Name, Address and Phone and e-mail <i>SAM SIAGAUGH 4488 HANDSCOMB RD 740-501-5635</i>			
Applicant's Name, Address and Phone and e-mail <i>Brad Beaver</i>			
Site Information			
Site Address <i>810 North Sandusky ST.</i>		Side Street (if corner lot)	
Legal Description <i>13.61 NPT OF 13.156 AC</i>	Parcel Number <i>66-00627.000</i>	Deed Volume and Page Number	
Zoning District (circle one) <i>RR R-1 R-2 R-3 PND NC CB (GB) O/I M-1 M-1A P-1 R-MH</i>		Flood Zone ☐ Floodway ☐ AE Zone ☐ A Zone ☐ X Zone	
Historic District ☐ Yes ☒ No	Status of Historic Review Commission's Action ☐ Approved ☐ Denied Case Number:		
Project Information			
Description of Proposed Work <i>STORAGE FOR MUOH D 60' X 100'</i>			
Existing use of property <i>MT. Vernon Overhead Door</i>		Proposed use of property <i>STORAGE FOR MUOH D</i>	
Parking spaces/loading berths	Structure height	Dwelling units	
State Approval: _____ Date _____	Approval Number _____		☐ Full approval ☐ Partial approval ☐ Not required
I hereby certify that the information submitted on this application and on any sketches, drawings or other documents submitted with this application is true and exact. This permit shall expire and may be revoked if work has not begun within <u>six months</u> or substantially completed within <u>one year</u> . Date: <i>4-29-2021</i> By: <i>[Signature]</i>			

Status of Application		
Date	By	Reason(s)
☐ Application rejected		
☐ Referred to Board of Appeals: Status of Board's Action: ☐ Approved ☐ Denied Case Number:		
Code Review _____ Date: _____	Site Review _____ Date: _____	
☐ Application approved		
Comments		
By: _____		Date: _____

Fee Calculation		
Estimated Cost <i>220,000 -</i>	Base Fee	Date Paid/Permit Issued:
	Park Development Fee	
	Total Fee	Cash ☐ Check ☐

Updated 4-30-2019

City of Mount Vernon Zoning Permit Sketch

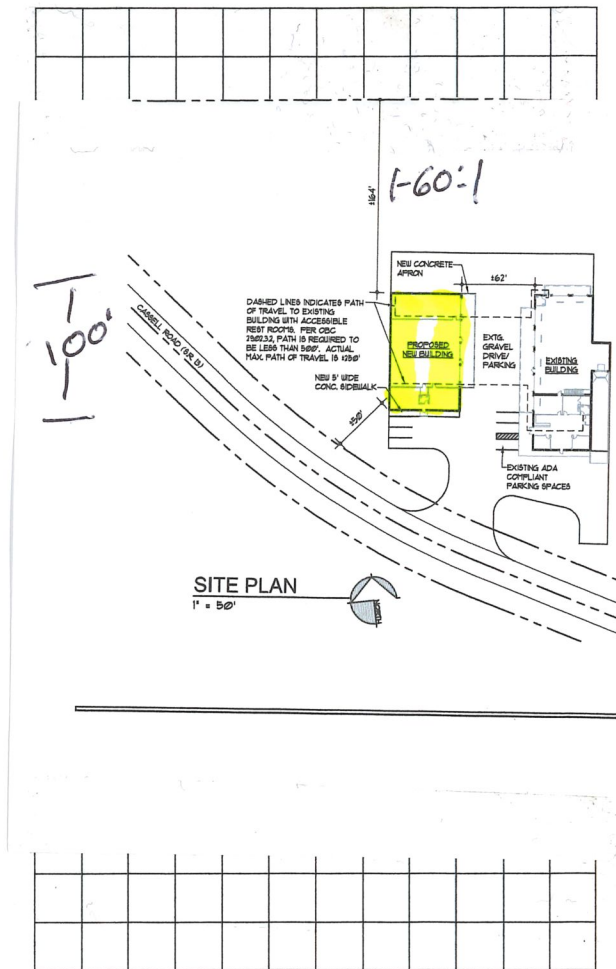
Site Address

810 North Sandusky ST

Instructions to Applicant

Supply all the information requested and complete the diagram below by showing the following:

1. Existing structures with solid lines
2. Proposed structures with dashed lines
3. Setback distances from all property lines.
4. Dimensions of all structures
5. Dimensions of the lot
6. Street name(s)



Street Name

810 North Sandusky ST.

I hereby certify that the information submitted on this sketch and/or other attached drawings and documents is true and correct.

By
Date

Zoning Enforcement Officer Action

☐ Approved ☐ Disapproved

By
Date

Attachment: APP - ZNG - Sandusky ST, 810 N (2337 : 2021-Bza-08)

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A NEW BUILDING FOR MOUNT VERNON OVERHEAD DOOR COMPANY. THE BUILDING WILL BE USED AS STORAGE/WAREHOUSE FOR MISCELLANEOUS STORAGE THAT WILL ALSO BE USED FOR PARKING NON-COMMERCIAL MOTOR VEHICLES OVERNIGHT. THE BUILDING WILL ALSO CONTAIN AN AREA THAT WILL BE BUILT-OUT AS AN OFFICE SPACE UNDER A FUTURE CONTRACT AND SEPARATE PERMIT.

NO REPAIR WORK WILL BE PERFORMED IN THE BUILDING. NO MOTOR VEHICLES WILL BE OPERATED WITHIN THE BUILDING. PER MECHANICAL CODE SECTION 502.4, EXCEPTION 3, MECHANICAL VENTILATION IS NOT REQUIRED IN MOTOR VEHICLE SERVICE AREAS WHERE ENGINES ARE OPERATED INSIDE THE BUILDING ONLY FOR THE DURATION NECESSARY TO MOVE THE MOTOR VEHICLES IN AND OUT OF THE BUILDING.

THE INSIDE STORAGE, DISPENSING AND USE OF MATERIAL IN EXCESS OF THOSE PERMITTED THE THE OHIO BUILDING CODE, TABLES 301.1(1) AND 301.1(2) SHALL BE PROHIBITED IN THIS BUILDING.

THERE SHALL BE NO HIGH-FILED OR RACK STORAGE IN THIS BUILDING EXCEEDING 12 FT. IN HEIGHT TO THE TOP OF THE HIGHEST STORED COMMODITY. STORAGE SHALL MEET THE DEFINITION OF NFPA 33.18 LOW-FILED STORAGE. SOLID-FILED, PALLETIZED, RACK STORAGE, BIN BOX, AND SHELF STORAGE UP TO 12 FT. IN HEIGHT.

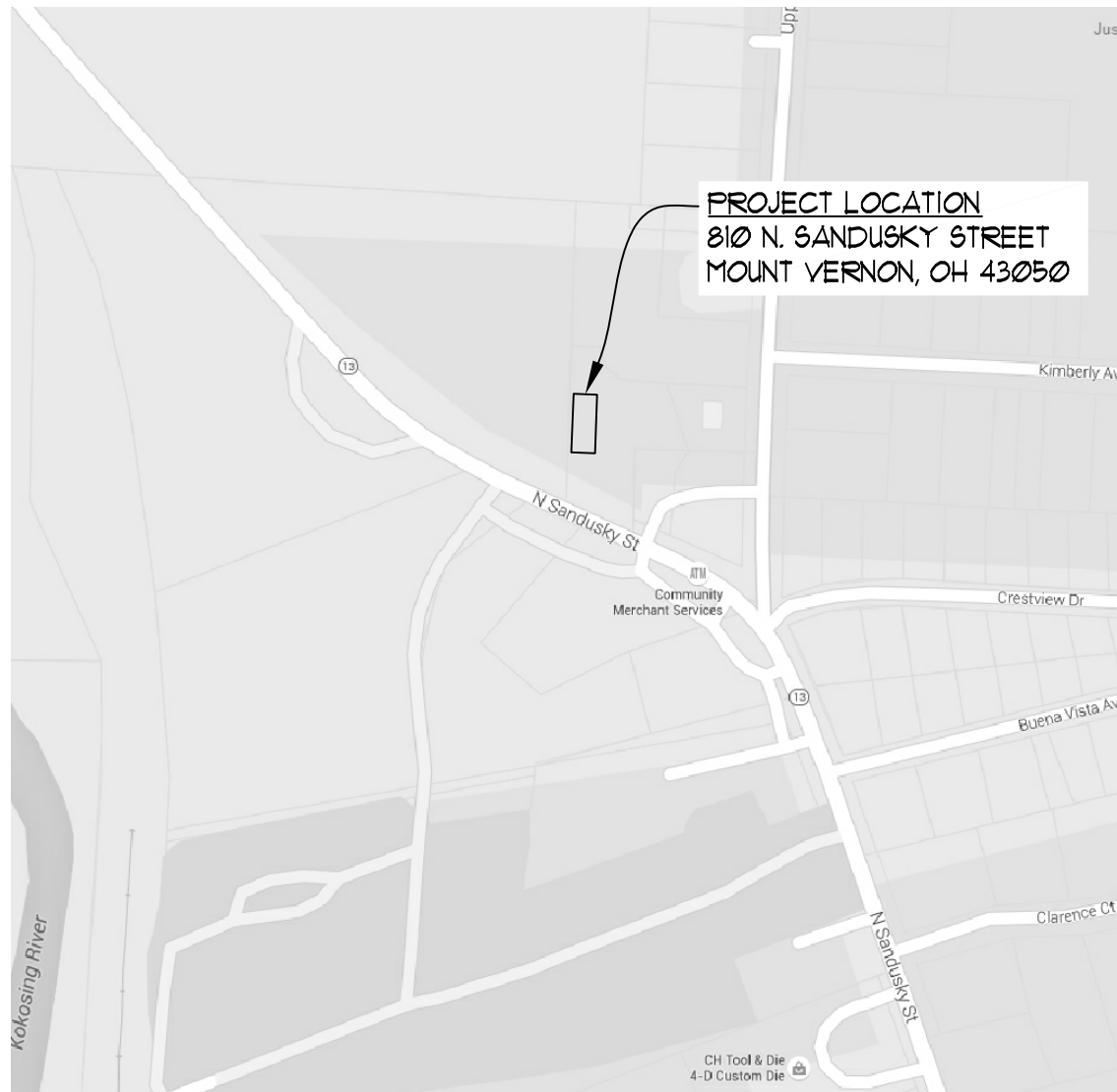
OHIO BUILDING CODE INFORMATION

SECTION REF. DESCRIPTION

SECTIONS 304 & 311 STORAGE & BUSINESS	CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION A. USE GROUP CLASSIFICATION MIXED S-1 & B
TABLES 504.3, 504.4 & 506.2 ALLOWABLE NO. OF STORIES, HEIGHT & AREA 508.3.2 NONSEPARATED OCCUPANCIES	CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS A. ALLOWABLE AREA & HEIGHT BASED ON MOST RESTRICTIVE USE (TABLE 503) (STORAGE (S-1)) 9,000 SF, 1 STORY, 40' B. ACTUAL GROSS AREA FIRST FLOOR FUTURE OFFICE AREA 122 SF. STORAGE/WAREHOUSE & UTILITY 4,818 SF. TOTAL FIRST FLOOR 6,000 SF. C. THE STORAGE/WAREHOUSE (S-1) AND FUTURE OFFICE (B) AREAS SHALL BE CONSIDERED NON-SEPARATED MIXED USES PER SECTION 508.3.2. THE MOST RESTRICTIVE OCCUPANCY (S-1) ALLOWABLE HEIGHT AND AREA SHALL APPLY TO THE ENTIRE BUILDING.
TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	CHAPTER 6: TYPES OF CONSTRUCTION A. CONSTRUCTION TYPE 5B STRUCTURAL FRAME 0 HOUR BEARING WALLS 0 HOUR EXTERIOR INTERIOR 0 HOUR NONBEARING WALLS 0 HOUR EXTERIOR ROOF CONSTRUCTION 0 HOUR
9032.9 SPRINKLER SYSTEMS IN GROUP (S-1) 9032.9.1 REPAIR GARAGES 9012.2 FIRE ALARM SYSTEMS IN GROUP (B)	CHAPTER 9: FIRE PROTECTION SYSTEMS A. THIS BUILDING WILL NOT MEET ANY OF THE CRITERIA THAT WOULD REQUIRE THE INSTALLATION OF AN AUTOMATIC SPRINKLER SYSTEM. B. NO COMMERCIAL VEHICLES WILL BE STORED IN THIS BUILDING. C. NO REPAIR WORK WILL BE PERFORMED IN THE BUILDING. D. THIS BUILDING WILL NOT MEET ANY OF THE CRITERIA THAT WOULD REQUIRE THE INSTALLATION OF A FIRE ALARM SYSTEM
TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT	CHAPTER 10: MEANS OF EGRESS A. NUMBER OF OCCUPANTS FUTURE OFFICE AREA: 122 SF. @ 100 SF. GROSS/OCC. = (12) OCC. STORAGE/WAREHOUSE & UTILITY AREA: 4,818 SF. @ 500 SF. GROSS/OCC. = (10) OCCUPANTS TOTAL OCCUPANT LOAD = (22) OCCUPANTS
TABLE 2902.1 MIN. NUMBER OF PLUMBING FIXTURES	CHAPTER 29: PLUMBING SYSTEMS A. WATER CLOSETS: REQUIRED PROVIDED PROPOSED BUILDING (B) MEN'S - 6 OCC. @ 1:50 = 0.12 (S-1) MEN'S - 5 OCC. @ 1:100 = 0.05 EXISTING BUILDING (B) MEN'S - 5 OCC. @ 1:50 = 0.10 (S-1) MEN'S - 8 OCC. @ 1:100 = 0.08 TOTAL MEN'S WATER CLOSETS = 1 (0.35) PROPOSED BUILDING (B) WOMEN'S - 6 OCC. @ 1:50 = 0.12 (S-1) WOMEN'S - 5 OCC. @ 1:100 = 0.05 EXISTING BUILDING (B) WOMEN'S - 5 OCC. @ 1:50 = 0.10 (S-1) WOMEN'S - 8 OCC. @ 1:100 = 0.08 TOTAL WOMEN'S REQUIRED = 1 (0.35) B. LAVATORIES: REQUIRED PROVIDED PROPOSED BUILDING (B) MEN'S - 6 OCC. @ 1:80 = 0.08 (S-1) MEN'S - 5 OCC. @ 1:100 = 0.05 EXISTING BUILDING (B) MEN'S - 5 OCC. @ 1:80 = 0.07 (S-1) MEN'S - 8 OCC. @ 1:100 = 0.08 TOTAL MEN'S REQUIRED = 1 (0.28) PROPOSED BUILDING (B) WOMEN'S - 6 OCC. @ 1:80 = 0.08 (S-1) WOMEN'S - 5 OCC. @ 1:100 = 0.05 EXISTING BUILDING (B) WOMEN'S - 5 OCC. @ 1:80 = 0.07 (S-1) WOMEN'S - 8 OCC. @ 1:100 = 0.08 TOTAL WOMEN'S REQUIRED = 1 (0.28) C. EXISTING REST ROOMS ARE LOCATED WITHIN 500' OF THE STORAGE BUILDING IN THE EXISTING OFFICE BUILDING ON THE SAME SITE AND UNDER THE SAME OWNERSHIP. D. EXISTING BUILDING FIXTURE CALCULATIONS SHOWN ABOVE TO SHOW THAT ADDITIONAL OCCUPANTS OF THE PROPOSED BUILDING WILL NOT INCREASE THE NUMBER OF REQUIRED FIXTURES. E. PER OPG 4101 BOTTLED WATER WILL BE PROVIDED IN STEAD OF THE DRINKING FOUNTAIN PER OBC TABLE 2902.1. REFER TO ATTACHED LETTER FROM OWNER.
	CHAPTER 16: STRUCTURAL DESIGN A. REFER TO SHEET S-1 FOR STRUCTURAL DESIGN LOADS.

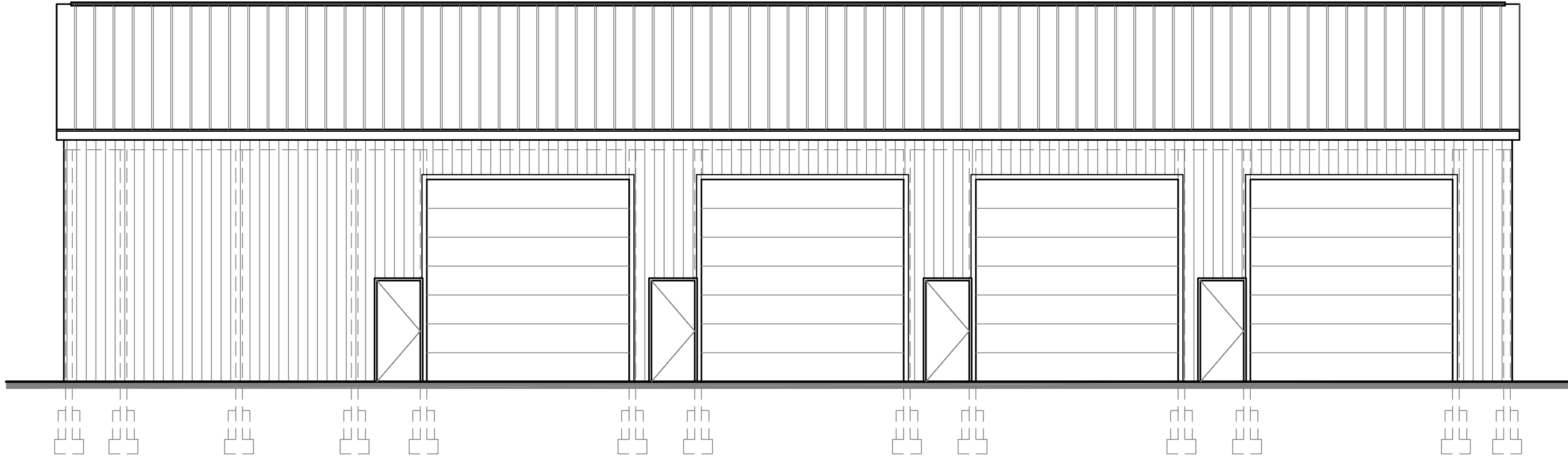
A NEW COMMERCIAL BUILDING: MOUNT VERNON OVERHEAD DOOR

810 N. SANDUSKY STREET MOUNT VERNON, OH 43050



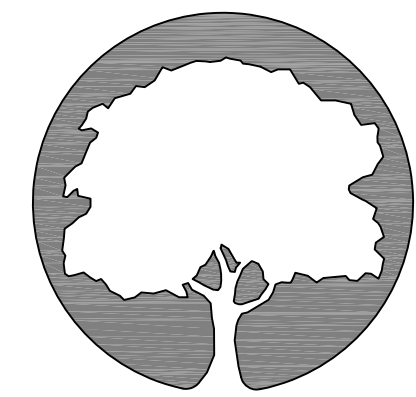
COVER	BUILDING CODE NOTES, SHEET INDEX, LOCATION MAP
A1	SITE PLAN, FLOOR PLAN, NOTES AND SCHEDULES
A2	EXTERIOR ELEVATIONS
A3	1/4" BUILDING SECTIONS AND 3/4" WALL SECTIONS
S1	FOUNDATION AND FRAMING PLANS
SD-1	GENERAL STRUCTURAL NOTES
SD-2	STRUCTURAL FOUNDATION DETAILS
SD-3	STRUCTURAL FRAMING DETAILS
SD-4	STRUCTURAL FRAMING DETAILS
MPI	MECHANICAL AND PLUMBING PLANS, NOTES AND DETAILS
E1	ELECTRICAL PLANS AND NOTES

index

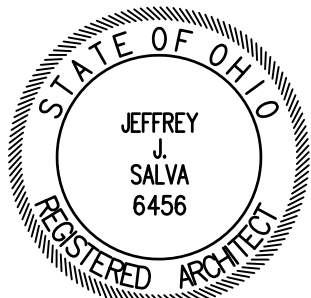


PROJECT DIRECTORY

OWNER Mount Vernon Overhead Door, LLC 810 N. Sandusky St. Mount Vernon, OH 43050 (740) 397-2536	ARCHITECT Green Valley Design, LLC 9301 Green Valley Road Mount Vernon, OH 43050 (740) 397-2282 (740) 397-8718 (Fax)	M.E.P. ENGINEER Hill Engineering 3 W. Central Ave. Delaware, OH 43015 (740) 363-0400	STRUCTURAL ENGINEER Jack D. Walters and Associates, Inc. 5166 Blazer Parkway Dublin, OH 43017 (614) 889-2516
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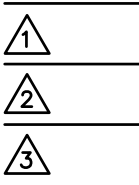
GREEN VALLEY DESIGN, LLC
9301 Green Valley Road
Mt. Vernon, Ohio 43050
740-397-2282
info@greenvalleydesign.net



Jeffrey J. Salva, License # 7906456
Expiration Date 12/31/2021

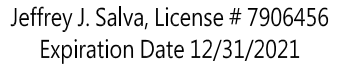
THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF GREEN VALLEY DESIGN, LLC. DERIVED SOLELY FOR THIS CONTRACT. THESE PLANS SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH THEY WERE PREPARED WITHOUT THE EXPRESS WRITTEN CONSENT OF GREEN VALLEY DESIGN, LLC. © COPYRIGHT 2021

REVISIONS



APRIL 27, 2021

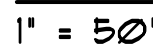
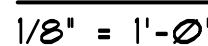
zoning submission	☐
design development	☐
construction document	☒
bidding	☐
building permit submission	☒
not for construction	☐
record / archive	☐
owner review	☐



MOUNT VERNON, OH 43050
Attachment: 2021-04-27_21m01_MVO

810 N. SANDUSKY ST.

A1



DOOR AND FRAME SCHEDULE

1. ABBREVIATIONS:

- A. DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS.

SET 01
THUMB TURN DEADBOLT
ADA THRESHOLD
CLOSER
PUSH PLATE AND FULL
WEATHER STRIPPING

- SET 02
STORAGE LATCHSET
- SET 03
PASSAGE LATCHSET
CLOSER

- SET 04
ENTRANCE LATCHSET
THUMB TURN DEADBOLT
ADA THRESHOLD
CLOSER
WEATHERSTRIPPING

5. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF EXISTING CONSTRUCTION AND STRUCTURAL COMPONENTS. ACTUAL FIELD CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

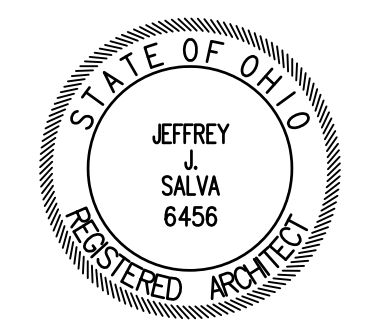
☐ F.E. FIRE EXTINGUISHER IN RECESSED CABINET

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE		WALLS		CEILING	
			MAT.	HGT.	MAT.	FIN.	MAT.	FIN.
101	FUTURE OFFICE	STAINED CONCRETE	--	--	EXPOSED	--	OPEN FRAMING	--
102	UTILITY	STAINED CONCRETE	VINYL	4'	GYP. BD.	PAINT	GYP. BD.	PAINT
103	STORAGE/WAREHOUSE	STAINED CONCRETE	--	--	METAL PANEL	PRE-FINISHED	METAL PANEL	PAIN
104	STORAGE/WAREHOUSE	STAINED CONCRETE	--	--	METAL PANEL	PRE-FINISHED	METAL PANEL	PRE-FINISHED

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REVISIONS	
1	
2	
3	



Jeffrey J. Salva, License # 7906456
Expiration Date 12/31/2021

GREEN VALLEY DESIGN, LLC

112 Harcourt Rd., Suite 5
Mount Vernon, Ohio 43050

740-397-2282

A NEW COMMERCIAL BUILDING FOR:
**MOUNT VERNON
OVERHEAD DOOR**

810 N. SANDUSKY ST.
MOUNT VERNON, OH 43050
Attachment: 2021-04-27_21m01_MVOHDoor_PermitDWGs (2337 : 2021-B2a-08)

APRIL 27, 2021

zoning submission	☐
design development	☐
construction document	☒
bidding	☐
building permit submission	☒
not for construction	☐
record / archive	☐
other	☐

cadfile

21m01-a2

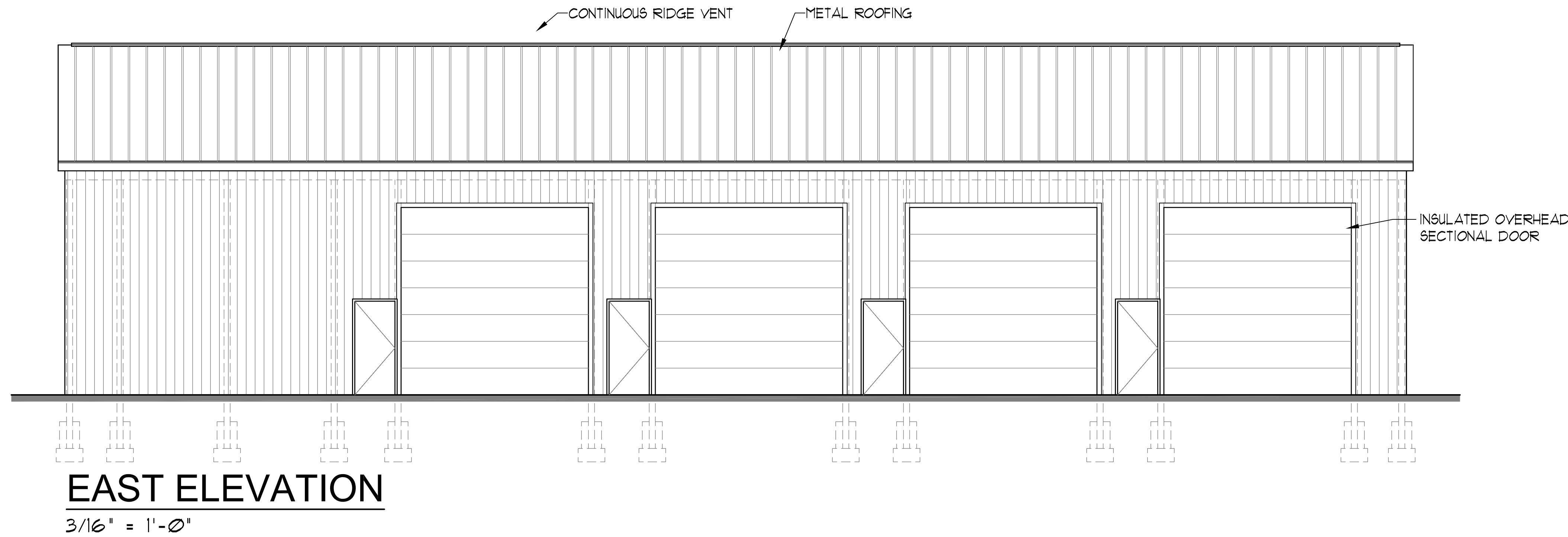
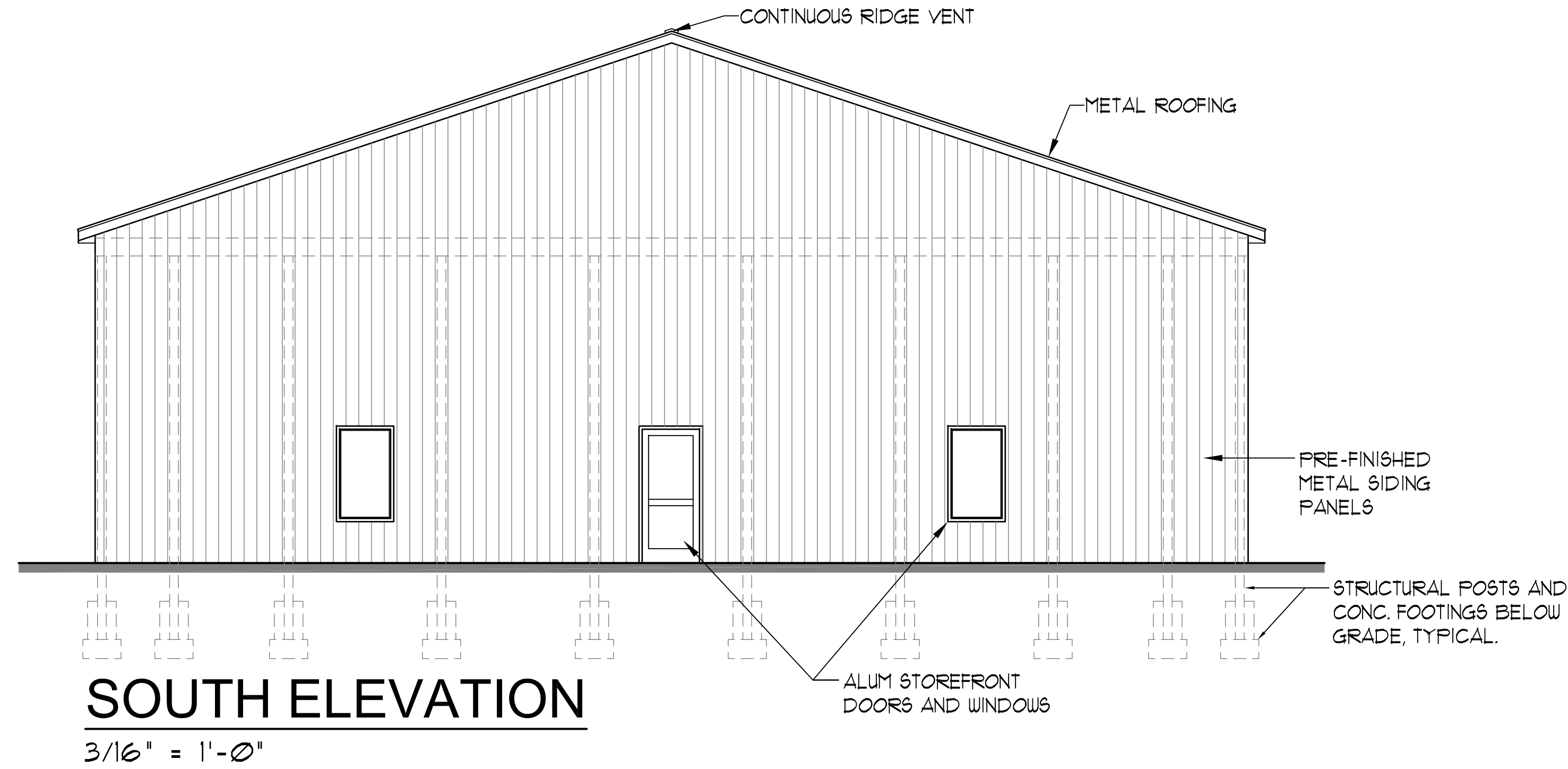
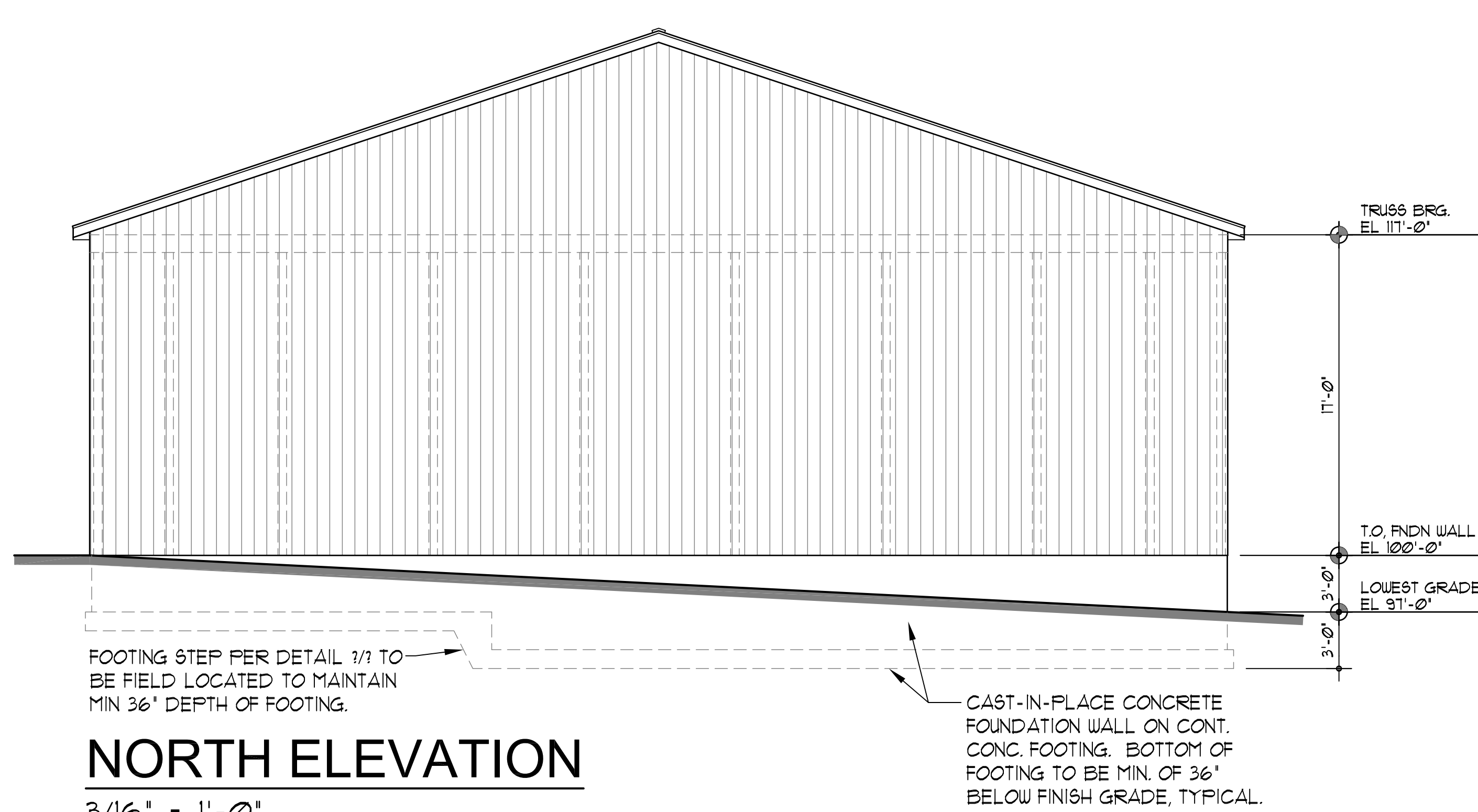
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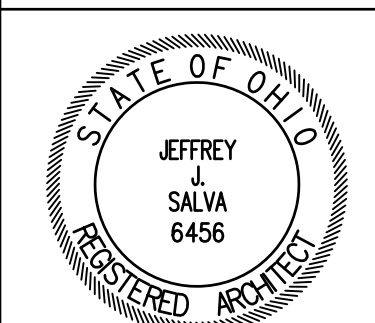
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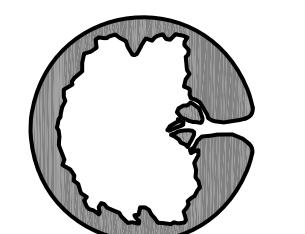
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Expiration Date 12/31/2021

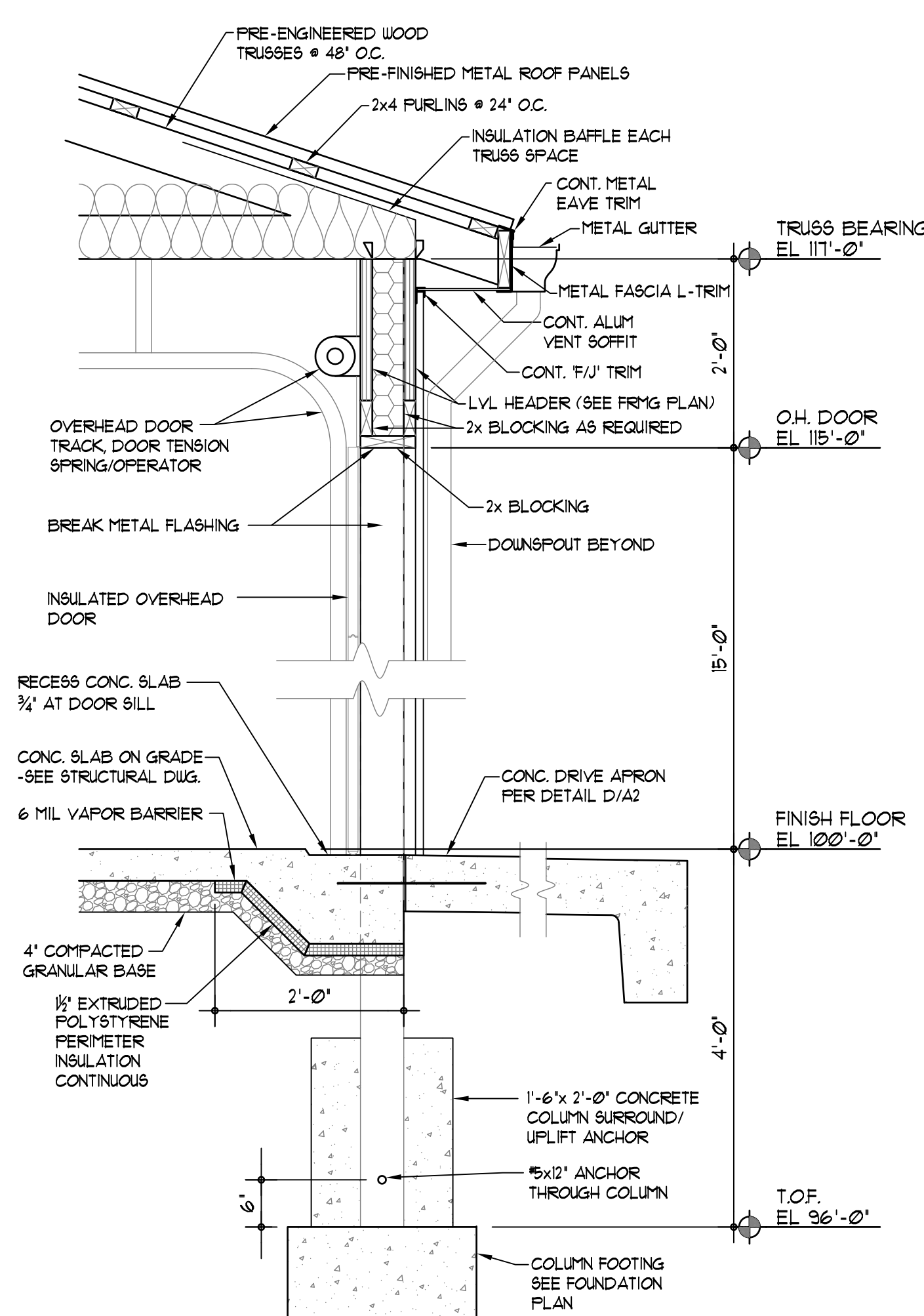
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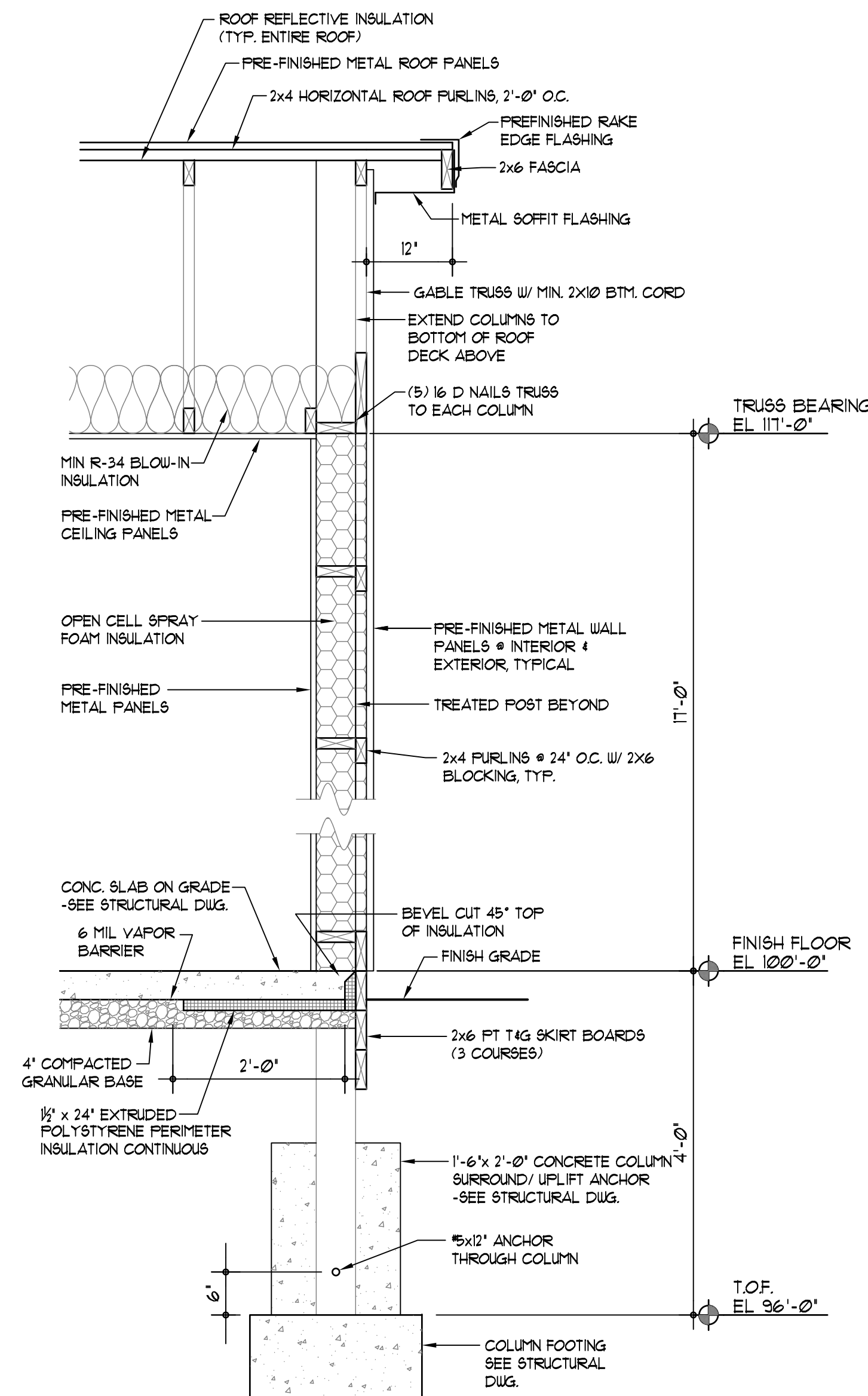
A NEW COMMERCIAL BUILDING FOR:
MOUNT VERNON
OVERHEAD DOOR
810 N. SANDUSKY ST.
MOUNT VERNON, OH 43050
Attachment: 2021-04-27_21m01_MVOHDoor_PermitDWG (2337 : 2021-B2a-08)

APRIL 27, 2021
zoning submission ☐
design development ☐
construction document ☐
bidding ☐
building permit submission ☐
not for construction ☐
record / archive ☐
other ☐
cadfile ☐
21m01-a3
job no. ☐
21m01
drawn ☐
JCS

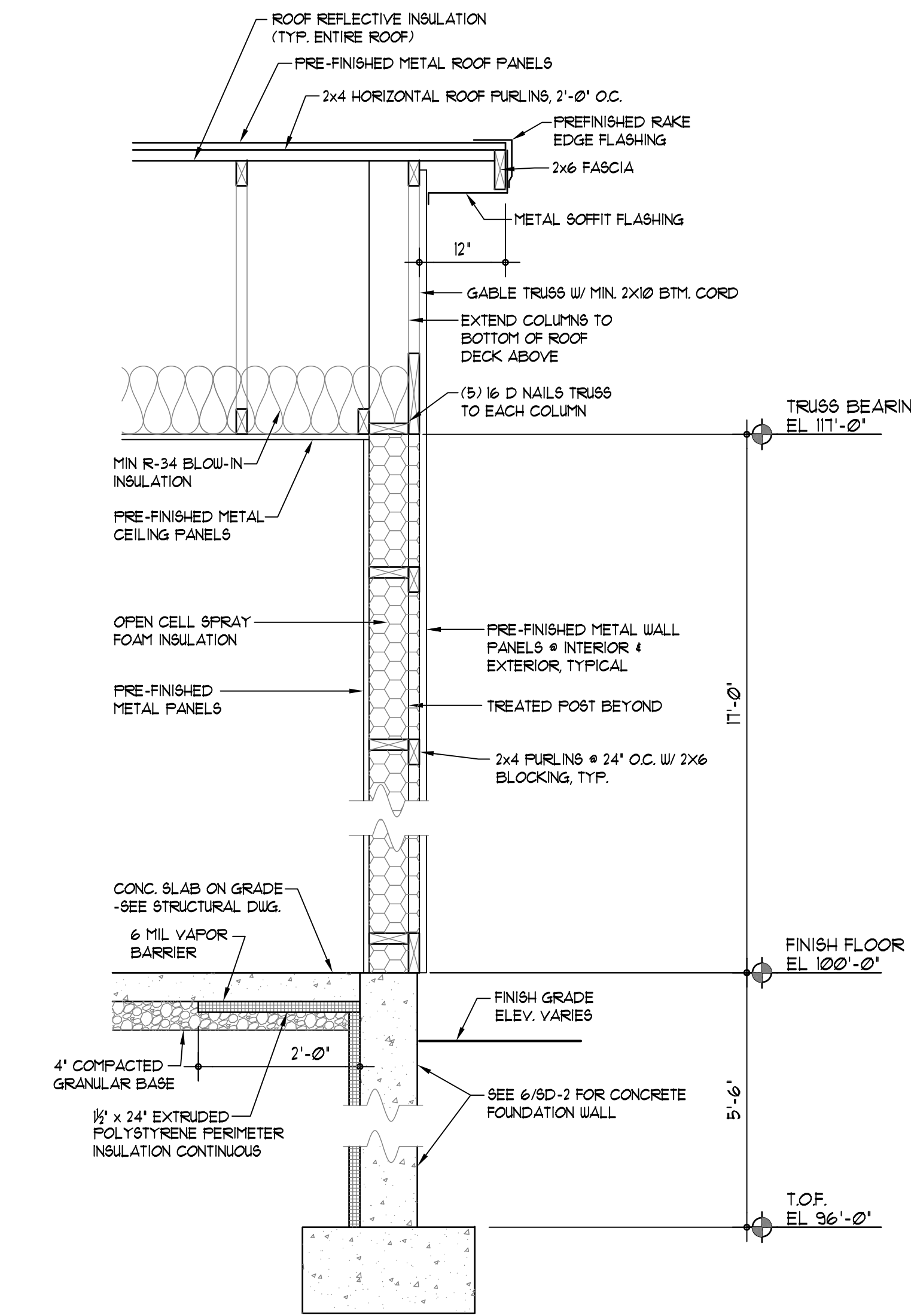
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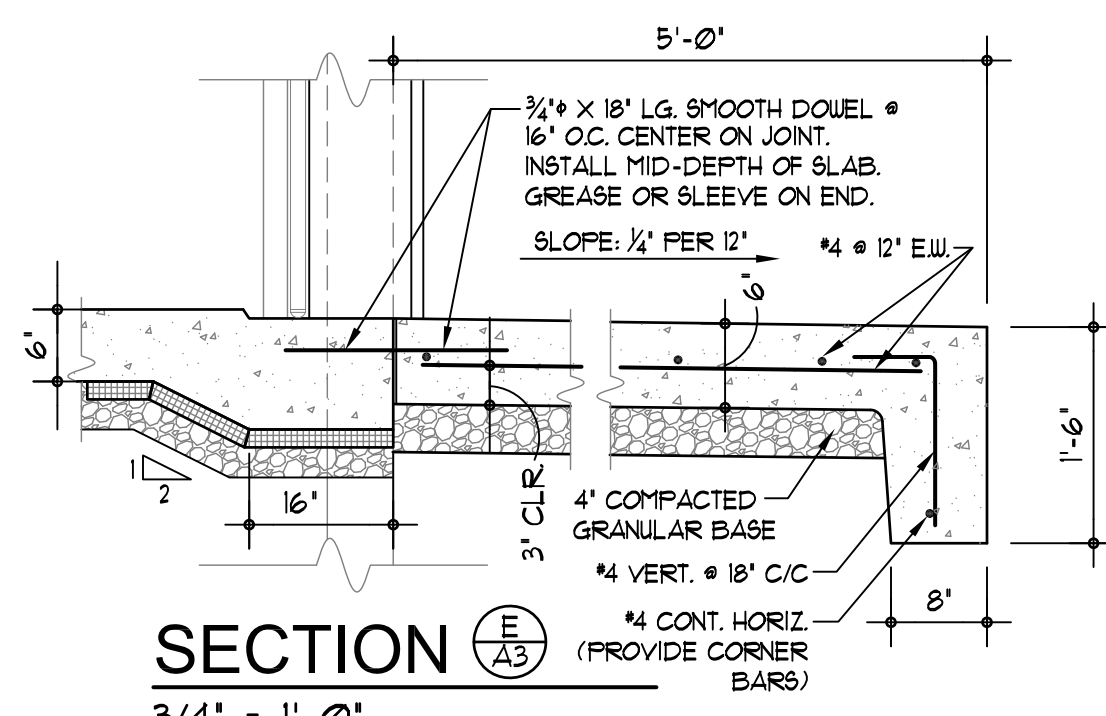
SECTION B/A3
3/4" = 1'-0"



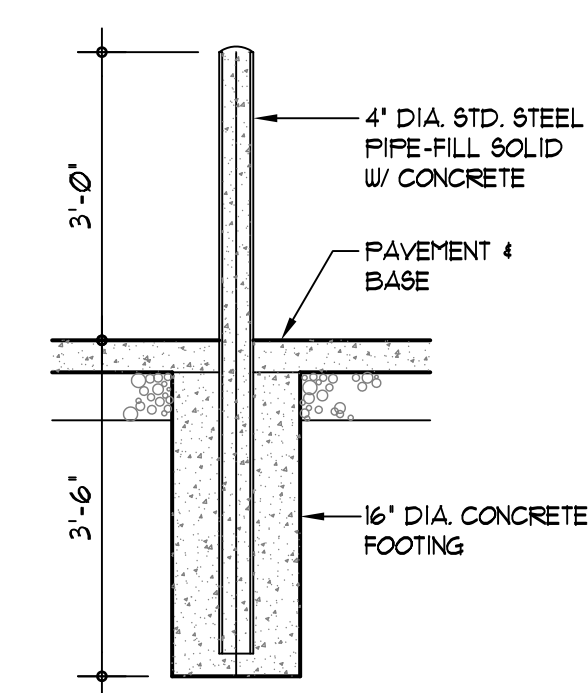
SECTION C/A3
3/4" = 1'-0"



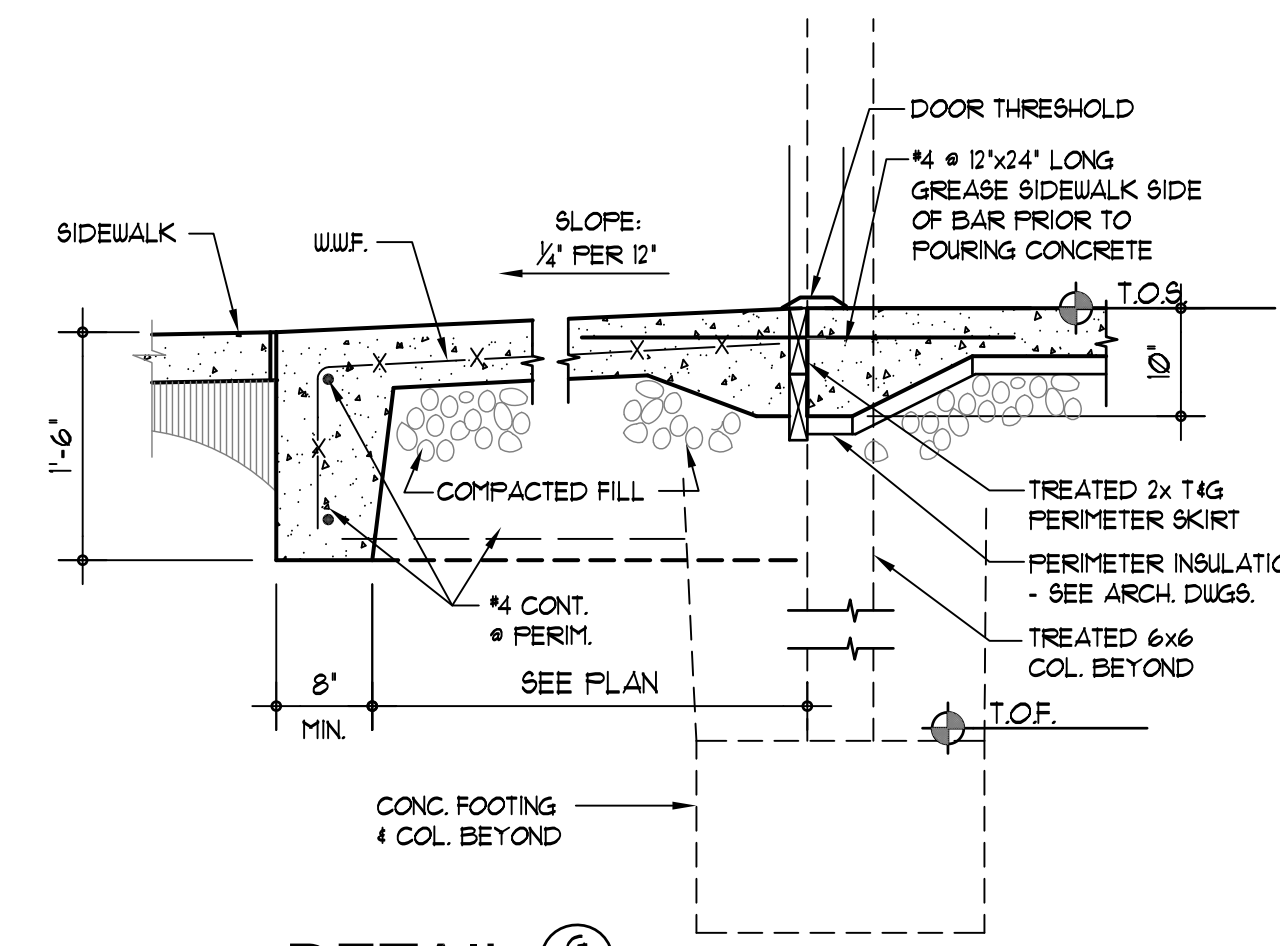
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3/4" = 1'-0"



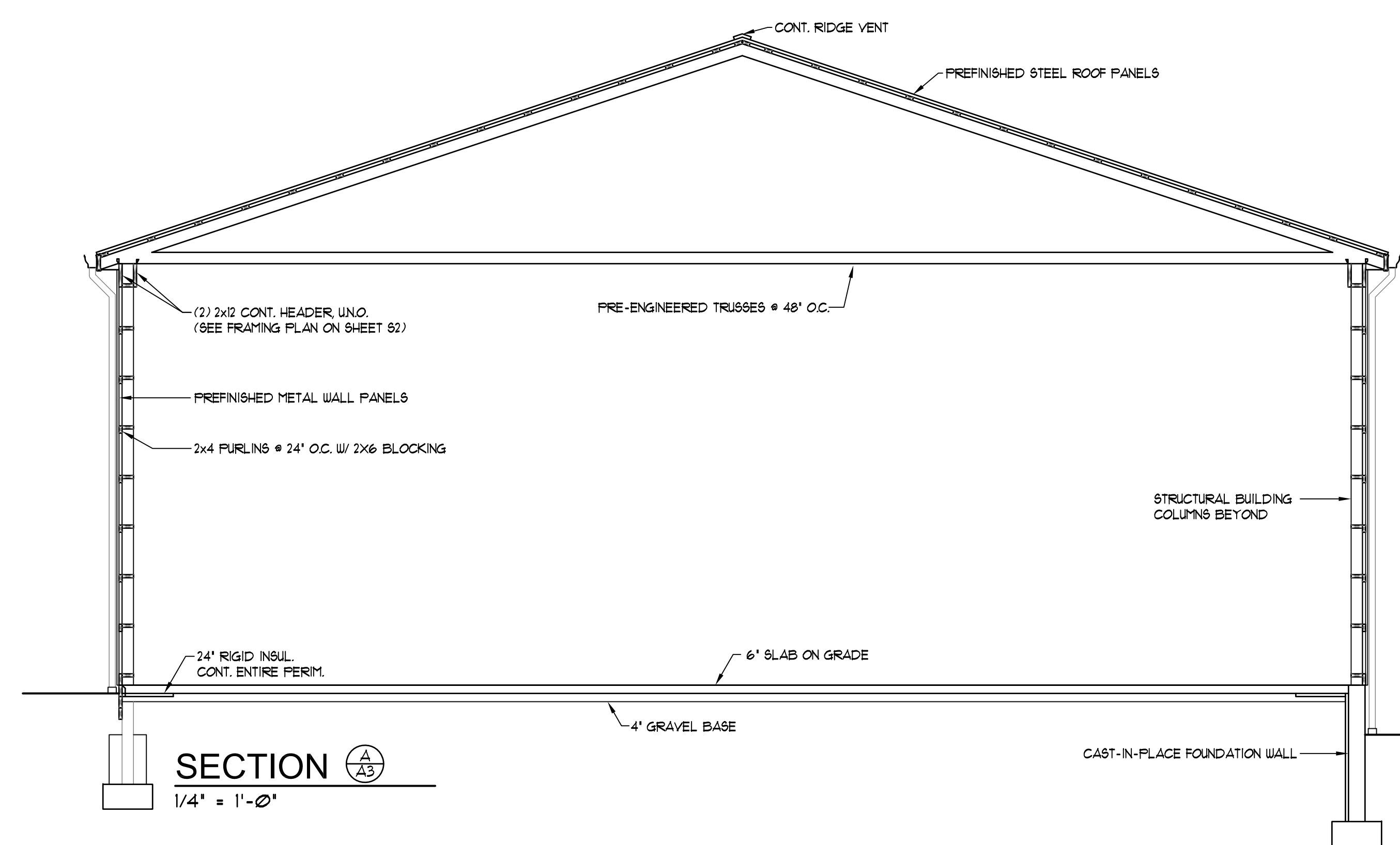
SECTION E/A3
3/4" = 1'-0"



DETAIL F/A3
1/2" = 1'-0"



DETAIL G/A3
3/4" = 1'-0"



SECTION A/A3
1/4" = 1'-0"

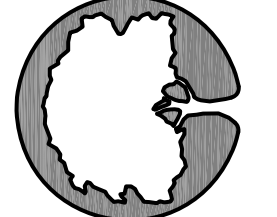
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112 Harcourt Rd., Suite 5
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A NEW COMMERCIAL BUILDING FOR:

MOUNT VERNON
OVERHEAD DOOR

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Attachment: 2021-04-27_21m01_INV0HDoor_PermitDWGS (2337 : 2021-B2a-09)

APRIL 27, 2021

zoning submission ☐

design development ☐

construction document ☐

bidding ☐

building permit submission ☐

not for construction ☐

record / archive ☐

other ☐

cadfile ☐

21m01-s1 ☐

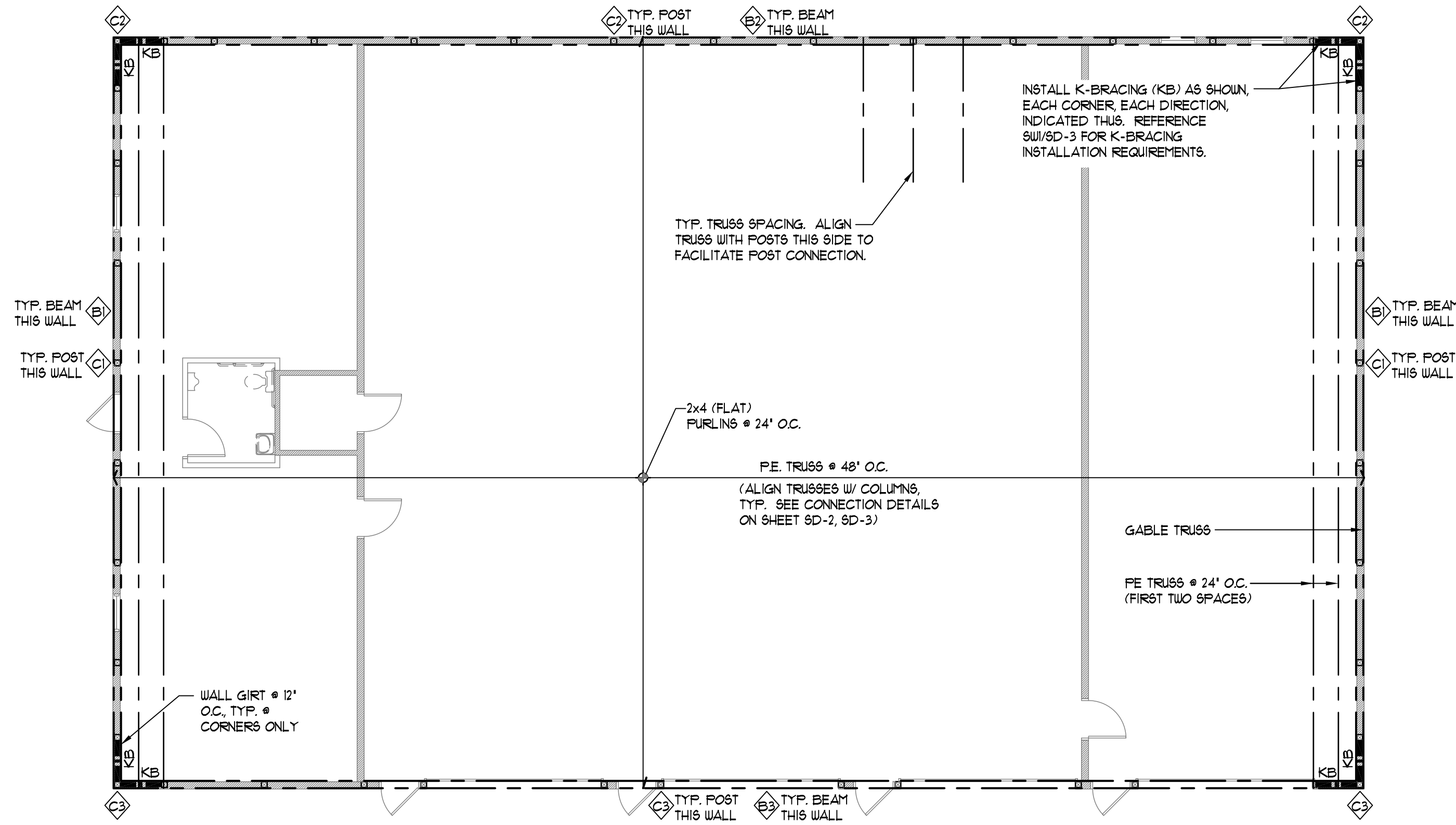
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drawn ☐

JCS ☐

sheet
S1



ROOF FRAMING PLAN
1/8" = 1'-0"

ROOF FRAMING LEGEND

H? — HEADER MARK. SEE SCHEDULE.

L? — MASONRY LINTEL MARK. SEE SCHEDULE.

B? — BEAM MARK. SEE SCHEDULE.

P? — POST MARK. SEE SCHEDULE.

K? — STRUCTURAL KEY NOTE MARK. SEE SCHEDULE.

INDICATES HEADER LOCATION. PROVIDE HEADERS OVER ALL OPENINGS; U.N.O. SEE ARCHITECTURAL DRAWINGS FOR LOCATION AND ELEVATION OF HEADERS. SEE HEADER SCHEDULE FOR HEADER SIZE AND INSTALLATION REQUIREMENTS. PROVIDE BRICK LINTELS OVER ALL OPENINGS PER SCHEDULE. BRICK LINTELS ARE NOT SHOWN ON PLAN FOR CLARITY.

ROOF FRAMING NOTES

- DESIGN ROOF LOAD: 20 PSF UNIFORM SNOW LOAD + DRIFTING.
- POST FRAME BUILDING ROOF CONSTRUCTION: 29 GA. MTL. ROOFING ON 2x4 PURLINS @ 24" O.C. ON P.E. WOOD TRUSSES @ 48" O.C.
- CONVENTIONAL BUILDING ROOF CONSTRUCTION: 29 GA. MTL. ROOFING ON APA RATED SHEATHING ON P.E. WOOD TRUSSES @ 24" O.C.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS; TYP. U.N.O.
- NO FIELD MODIFICATIONS TO WOOD TRUSSES IS PERMITTED. DO NOT CUT, DRILL, OR NOTCH TRUSS WEB OR CHORD WITHOUT WRITTEN APPROVAL FROM MANUFACTURER OR ENGINEER.
- DIMENSIONS TYPICALLY ARE TO EXTERIOR FACE OF MASONRY, CONCRETE, SHEATHING, INTERIOR FACE OF STUD, MASONRY, CONCRETE, CENTERLINE OF POST/COLUMN.
- REFER TO THE GENERAL STRUCTURAL NOTE SHEET SD-1 AND TYPICAL DETAIL SHEETS SD-2 AND SD-3 FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE DEPICTED AND NOTED ON THE PLAN AND DETAIL SHEETS.
- REFER TO THE TYPICAL DETAIL SHEETS SD-2, SD-3, AND SD-4 FOR MINIMUM CONSTRUCTION REQUIREMENTS FOR POST FRAME WOOD CONSTRUCTION.

HEADER/BEAM SCHEDULE			
MARK	SIZE	LUMBER GRADE	NOTES
B1	(2) 2 X 12	SOUTHERN PINE NO. 2	SEE 5/SD-3 FOR CONN. REQ'NTS TO POST FRAMING. SEE 4/SD-3 FOR CORNER CONNECTION REQ'NTS.
B2	(2) 2 X 12	SOUTHERN PINE SELECT STRUCTURAL	SEE 6/SD-3 FOR CONN. REQ'NTS TO POST FRAMING. SEE 4/SD-3 FOR CORNER CONNECTION REQ'NTS.
B3	(2) 1.75 X 14.0 LVL	1.9E	SEE 7/SD-3 FOR CONN. REQ'NTS TO POST FRAMING.
NOTES: C? = POST FRAME COLUMN BM? = POST FRAME TOP BEAM H? = CONVENTIONAL HEADER PT = PRESERVATIVE TREATED LUMBER 1. ALL METAL PLATE CONNECTION MODEL SPECIFIED ARE SIMPSON STRONG TIE PRODUCTS. EQUIVALENT PRODUCTS MAY BE SUBSTITUTED.			

POST SCHEDULE			
MARK	SIZE	LUMBER GRADE	NOTES
C1	(4) PLY 2 X 6 SELECT STRUCTURAL	Fb=1900psi, Fc=1800psi PT-0.60 CCA (bottom)	SEE 5/SD-3 FOR CONN. REQ'NTS TO BEAM FRAMING.
C2	(4) PLY 2 X 6 SELECT STRUCTURAL	Fb=1900psi, Fc=1800psi PT-0.60 CCA (bottom)	SEE 6/SD-3 FOR CONN. REQ'NTS TO BEAM FRAMING.
C3	(4) PLY 2 X 6 SELECT STRUCTURAL + LVL REINF. MEMBER	Fb=1900psi, Fc=1800psi PT-0.60 CCA (bottom)	SEE 7/SD-3 FOR CONN. REQ'NTS TO BEAM FRAMING. SEE 8/SD-3 FOR REINF. MEMBER REQ'NTS.
NOTES: C? = POST FRAME COLUMN BM? = POST FRAME TOP BEAM PT = PRESERVATIVE TREATED LUMBER 1. THE SPECIFIED LUMBER GRADE VALUES ARE MINIMUMS. LUMBER MEETING THESE MINIMUM VALUES OR EXCEEDING THE VALUES MAY BE INSTALLED. 2. ALL LAMINATED COLUMNS ARE TO BE FASTENED TOGETHER WITH TWO ROWS OF 0.131" @ 8" O.C. THE MINIMUM FASTENER LENGTH IS 3.75" FOR 3 PLY AND 4 PLY COLUMNS AND 4.5" FOR 5 PLY COLUMNS. 3. PRE-FABRICATED LAMINATED COLUMNS MAY BE INSTALLED. THE COLUMNS MUST MEET OR EXCEED THE DESIGN VALUES AND PROPERTIES LISTED IN THE TABLE. (PERMA-STRAIGHT COLUMNS OR EQUAL).			

FOUNDATION LEGEND

INDICATES LOCATION OF WALL FOOTING OR GRADE BEAM. CENTER FOOTING UNDER SUPPORTED WALL, COLUMN, PIER; TYP. U.N.O.

INDICATES LOCATION OF POST PIER FOUNDATION. CENTER FOOTING UNDER POST; TYP. U.N.O.

F? INDICATES FOOTING MARK
P? INDICATES PIER MARK
EL. XX'-X" INDICATES TOP OF FOOTING ELEVATION
SEE SCHEDULES FOR REQUIRED SIZES AND REINFORCING

EL. 0'-0" INDICATES TOP OF CONCRETE SLAB ELEVATION

SL INDICATES SLOPED CONCRETE SLAB. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

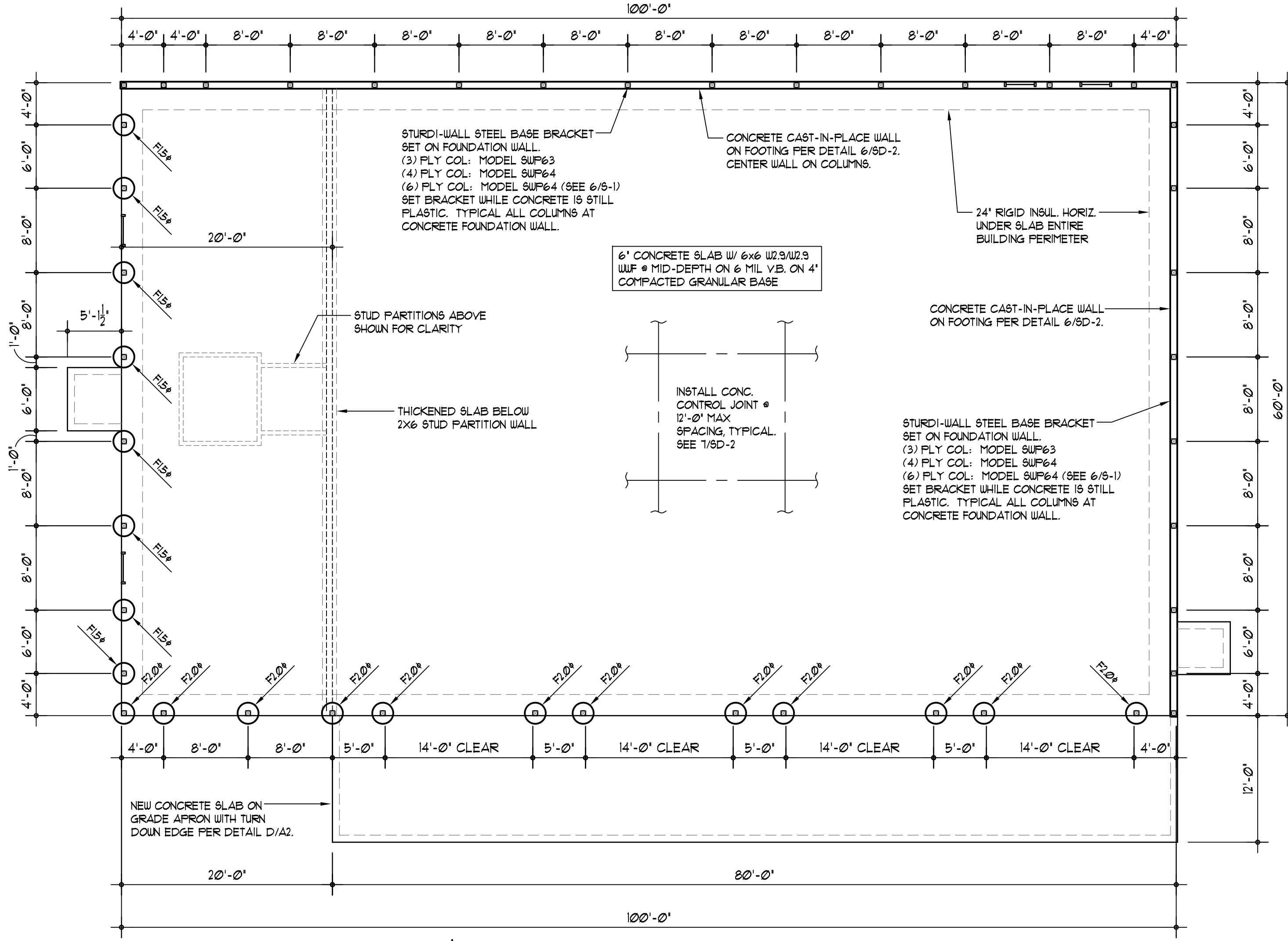
INDICATES LOCATION OF FLOOR SLAB DEPRESSION AND/OR AREA OF SLAB BLOCK OUT. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC LOCATION AND SIZE; TYP.

K? — STRUCTURAL KEY NOTE MARK. SEE SCHEDULE.

FOUNDATION NOTES

- REFERENCE ELEVATION: TOP OF CONCRETE SLAB ON GRADE = 100'-0".
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO PLACING CONCRETE.
- FOUNDATION DESIGN CRITERIA: CONVENTIONAL SPREAD FOOTINGS, PIER FOOTINGS. ALLOWABLE SOIL BEARING PRESSURE = 1.5 KSF
- PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF SOILS CONDITIONS BY GEOTECHNICAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL DE-WATERING SERVICES, AS REQUIRED, TO KEEP WATER OUT OF FOUNDATION EXCAVATIONS.
- CONCRETE SLABS SHALL BE PLACED ON VAPOR BARRIER ON A FREE-DRAINING AGGREGATE BASE. VAPOR BARRIER IS REQUIRED UNDER ENCLOSED OFFICE LOCATIONS ONLY. THE DRAINAGE COURSE SHALL BE A MINIMUM 4" THICK AND BE COMPACTED PER PROJECT SPECIFICATIONS. DO NOT PLACE CONCRETE BEFORE INSPECTION AND APPROVAL OF DRAINAGE COURSE BY SOILS ENGINEER, U.N.O.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WITH SITE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS PRIOR TO THE PLACEMENT OF FOUNDATION CONCRETE. THIS INCLUDES BUT IS NOT LIMITED TO: DOOR OPENINGS IN FOUNDATION WALLS, DRAINS, SLAB SLOPES, SLAB DEPRESSIONS, SLAB BLOCK-OUTS, UNDERGROUND PLUMBING, ELECTRIC, AND HVAC, FOUNDATION SLEEVE REQUIREMENTS, SPRINKLER LINES.
- THE CONSTRUCTION MANAGER IS RESPONSIBLE TO FIELD VERIFY SITE UTILITY LOCATIONS AND ELEVATIONS AND COORDINATE THE FOUNDATION INSTALLATION WITH THE UTILITY INSTALLATIONS. REFER TO TYPICAL DETAILS FOR MINIMUM PROXIMITY REQUIREMENTS.
- REFER TO THE GENERAL STRUCTURAL NOTE SHEET AND TYPICAL DETAIL SHEET FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE DEPICTED AND NOTED ON THE PLAN AND DETAIL SHEETS.

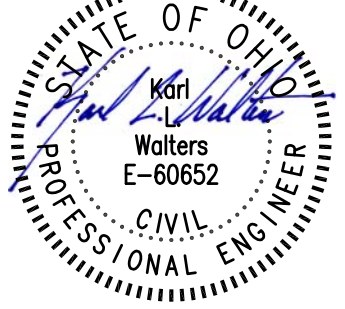
FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	NOTES
F15#	1'-6" x 10" DP.	SEE 1/SD-3	T.D.F. = 96'-0"
F20#	2'-0" x 12" DP.	SEE 1/SD-3	T.D.F. = 96'-0"
NOTES: FTS-? = THICKENED SLAB FOOTING FM-? = CONT. WALL FOOTING F? = COLUMN PAD FOOTING FM-? = MAT FOOTING T.O.F. = TOP OF FOOTING			
E.W. = EACH WAY S.W. = SHORT WAY (SHORT DIRECTION) L.W. = LONG WAY (LONG DIRECTION) DP. = DEEP (DEPTH OF FOOTING)			
WD. = WIDE (WALL FTG.) SQ. = SQUARE (PAD) CONT. = CONTINUOUS BOT. = BOTTOM			



FOUNDATION PLAN
1/8" = 1'-0"

STRUCTURAL REVIEW

JACK D. WALTERS & ASSOCIATES, INC.
ARCHITECTS/ENGINEERS
P.O. BOX 855 DUBLIN, OH 43017
614-889-2516 incoming@jdwa.com
KARL L. WALTERS, P.E.
PROJECT: REVERSE ROOFING
DATE: 4/8/2021
JOB NO.: 21-061



MASONRY

MASONRY

1. REFERENCE STANDARDS: REFER TO PROJECT SPECIFICATION MANUAL.

A. PERFORM ALL MASONRY CONSTRUCTION IN ACCORDANCE WITH ACI 530 / ACSE 5 / TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"; CURRENT EDITION.

2. MATERIALS:

A. CONCRETE MASONRY UNITS: ASTM C90, (HOLLOW AND SOLID):

1. NORMAL WEIGHT BLOCK WITH LOCATIONS, UNLOD. ON PLAN. (125 PCF DENSITY)

2. MINIMUM NET COMPRESSIVE UNIT

B. CONCRETE BRICK: ASTM C55, GRADE 1

1. MINIMUM NET COMPRESSIVE UNIT: STRENGTH BRICK ASTM C216, GRADE 5W COLOR AND SIZE AS NOTED ON THE ARCHITECTURAL DRAWINGS).

C. MORTAR: ASTM C270

1. ALL WALLS, FOUNDATION WALLS: TYPE S MORTAR, 28 DAY COMPRESSIVE STRENGTH 1800 PSI MIN.

2. BOND BEAM AND CORE FLJ (RODUT): ASTM C475, COARSE TYPE, MINIMUM COMPRESSIVE STRENGTH 2000 PSI (28 DAY)

3. REINFORCING STANDARD "BULL-GUT" WALL: ALL CALVATED FINISH, OR APPROVED EQUIVALENT.

4. CONTROL JOINTS:

- PROVIDE CONTROL JOINTS AT LOCATIONS APPROVED BY ARCHITECT IN ALL MASONRY WALLS AND BRICK VENEER, U.N.C. UNLESS INDICATED OR DETAILLED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM CONTROL JOINT LOCATIONS:
 - MAXIMUM SPACING OF 25 FEET OR 3 TIMES THE WALL HEIGHT, WHICHEVER IS LESS.
 - ADJACENT TO CORNERS OF CHANGES IN WALL HEIGHT AND AT CHANGES IN FOUNDATION CONDITIONS.
 - DO NOT LOCATE CONTROL JOINTS WITHIN 16 INCHES OF OPENINGS UNLESS MASONRY ABOVE IS SUPPORTED FROM THE BUILDING FRAMING (MASONRY NOT SUPPORTED ON LINTEL BEARING ON MASONRY WALL).
 - DO NOT LOCATE CONTROL JOINTS IN WALLS IDENTIFIED AS "SHEAR WALLS" ON DRAWINGS.

5. OPENINGS:

A. PROVIDE LINTELS OVER ALL WALL OPENINGS, U.N.O. REFERENCE SCHEDULE ON DRAWINGS FOR SPECIFIED LINTELS, REFERENCE STEEL LINTEL SCHEDULE IN GENERAL NOTES FOR TYPICAL LINTEL REQUIREMENTS TO BE INSTALLED IF NO LINTEL SIZE IS SPECIFIED ON DRAWINGS.

6. MISCELLANEOUS:

3. CONNECTIONS:

A. EXCEPT AS SHOWN OR OTHERWISE NOTED ON PLAN, ALL FASTENERS SHALL BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE FASTENING SCHEDULE (2011 IBC TABLE 2304.9.1).

B. THE SPECIFIED TYPE NAILS MAY BE SUBSTITUTED CONNECTIONS THEY MEET THE FOLLOWING MIN. REQUIREMENTS:

SIZE	APPROVED	SUBSTITUTION
16d	0.131" DIAMETER X 3" LONG	12d
14d	0.119" DIAMETER X 2" LONG	10d
12d	0.108" DIAMETER X 2" LONG	8d
8d	0.128" DIAMETER X 1 1/2" LONG	

C. ALL FASTENERS THAT ARE IN CONTACT WITH FIRE RETARDANT, ACQ, COPPER ALLOY, AND OTHER NOT-DOT BORAC TREATED PRESERVATIVE SHALL BE PROTECTED WITH AN APPROPRIATE PROTECTIVE FINISHES/MATERIALS. POST HOT DIP GALVANIZED AND/OR STAINLESS STEEL FASTENERS ARE APPROVED. DO NOT PLACE DIS-SIMILAR METALS IN CONTACT WITH EACH OTHER (COORDINATE BOLT + WASHER + NUT).

D. ALL ENGINEERED LUGS-SEMIARS OF 3 MEMBERS (3 PLYS) SHALL HAVE EACH PLY FASTENED TO ADJACENT MEMBERS WITH 12D NAILS.

LIGHT GAUGE METAL FRAMING

FRANKLIN INTERNATIONAL OR EQUIVALENT TO 100% OF THE CONTACT SURFACES.

2. JOISTS SHALL BE REPLACED IF ANY UNIFORM FRAMING THAT EXHIBITS STRUCTURAL DEFECTS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH NEW JOISTS. JOIST DEFECTS MAY INCLUDE, BUT ARE NOT LIMITED TO: NOTCHES, SPLICES, CRACKS, BOWED STUDS, BOWED JOISTS.

5. PRESERVATIVE TREATMENT:

A. ALL COMPONENTS IDENTIFIED AT "PRESERVATIVE TREATED," "TREATED," "PRESSURE TREATED," "EXTERIOR GRADE," "DECAY RESISTANT," ARE REQUIRED TO BE PRESERVATIVE TREATED LUMBER. ALL WOOD FRAMING THAT IS EXPOSED TO EXTERIOR CONDITIONS IS REQUIRED TO BE PRESERVATIVE TREATED LUMBER UNLESS NOTED OTHERWISE ON PLAN.

B. ALL JOISTS IN CONTACT WITH "TREATED AND PROTECTIVE" SHALL CONFORM TO THE APPROPRIATE STANDARDS OF THE AIA LUGGERS IN CONTACT WITH FOUNDATIONS, CONCRETE, OR MASONRY ARE TO BE PRESERVATIVE TREATED LUMBER.

C. PRESERVATIVE TREATED (PT) WOOD MATERIALS ARE REQUIRED TO BE "TREATED WOOD" IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVATION ASSOCIATION (AWPA) FOR SAWN LUMBER, GRADE LAMINATED LUMBER, ROUND POLES, PILES AND MARINE PILES. FOLLOW AMERICAN LUMBER STANDARDS COMMITTEE (ALSC) QUALITY ASSURANCE PROGRAM.

D. FASTENERS, ANCHORS, AND ASSOCIATED HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE STAINLESS STEEL OR ALUMINUM.

PRODUCT IDENTIFICATION		SECTION	SSMA IDENTIFICATION	FLANGE WIDTH	RETURN UP
		S-SECTIONS (STUBS)	S-162 1 3/8" 5/8"	5/8"	UP
			S-200 2 5/8" 5/8"	5/8"	
			S-250 3 1/2" 5/8"	5/8"	
		T-SECTIONS (TRACKS)	T-125 1 1/4" 5/8"	5/8"	
			T-150 1 1/2" 5/8"		
MATERIAL THICKNESS COMPARISON TABLE					
MILS	GAUGE	MINIMUM DELIVERED THICKNESS	DESIGN THICKNESS		
33	20	0.0358	0.0346"		
43	18	0.0428	0.0431"		
54	15	0.0338	0.0366"		
64	14	0.0377	0.0713"		
97	12	0.0866	0.1017"		

1. SPECIFICATIONS AND REFERENCE STANDARDS: UNLESS NOTED OR SHOWN OTHERWISE, DESIGN, FABRICATION, ERECTION, HANDLING AND BRACING REQUIREMENTS ARE TO BE GOVERNED BY THE LATEST REVISIONS OF:

- A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS.
- B. TIMBER CONSTRUCTION STANDARDS.
- C. DESIGN SPECIFICATIONS FOR LIGHT METAL PIPE CONNECTED WOOD TRUSSES.
- D. TRUSS PLATE INSTITUTE PUBLICATION-BTW BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS.

3. CONNECTIONS:

a. FIELD CONNECTIONS MAY BE EITHER WELDED OR SCREWED, UNLESS SPECIFICALLY NOTED OTHERWISE.

b. UNLESS SPECIFIED OTHERWISE, THE MINIMUM MECHANICAL FASTENER IS TO BE SELF TAPPING #10-18 SCREWS MANUFACTURED AND TESTED BY ITW BULFINCH, A MINIMUM OF 1/2" HOLE EDGE DISTANCE AND SCREW SPACING REQUIRED. UNLESS NOTED OTHERWISE ON THE DRAWINGS, SCREW TIGHTENING THROUGH JOINED MATERIALS SHALL NOT BE LESS THAN THREE EXPOSED THREADS. SELECT SCREWS WITH AN ADEQUATE CUTTING TIP TO ACCOMMODATE THE TOTAL THICKNESS TO BE DRILLED. DRILLING MUST BE COMPLETED BEFORE THE SCREWS REACH THE TERMINAL, WHERE SCREW DRILLING IS REQUIRED. IN CASES OF DIFFERENT THICKNESSES, THE THINNEST COMPONENT MUST BE PENETRATED FIRST.

c. MINIMUM WELD THROUGH THICKNESS (1) MUST MATCH OR EXCEED THE FRAMING COMPONENTS AT DIFFERENT THICKNESSES, THE THINNEST COMPONENT MUST BE PENETRATED FIRST.

d. THE FRAMING COMPONENT MAY SUBSTITUTE FASTENERS OF EQUIVALENT SPECIFICATIONS AND LOAD CARRYING CAPACITIES. PRIOR TO INSTALLATION, SUBMIT FOR APPROVAL TO THE ENGINEER.

4. FINISHES:

a. ALL MATERIAL TO BE GALVANIZED CONFORMING IN ACCORDANCE WITH ASTM A425 G-80.

b. ALL WELDS ARE TO BE CLEANLY AND PROPERLY FINISHED.

3. DESIGN:

A. ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE FOLLOWING LOADS:

DESIGN LOADS:

TOP CHORD: LIVE LOAD: 20 PSF + SNOW DRIFTING AND RTU
DEAD LOAD: 7 PSF

BOT CHORD: DEAD LOAD: 7 PSF

WIND PRESSURES: PER ASCE/SEI SECTION 7-05

NOTES FOR ADDITIONAL DESIGN CONSIDERATIONS:

WHERE TRUSSES ARE REQUIRED TO FRAME INTO OTHER TRUSSES, DESIGN OF THE HANGERS SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER. THE TRUSS SUPPLIER SHALL MAKE NECESSARY PROVISIONS IN THE SUPPORTING TRUSSES TO ACCEPT THE TYPE OF HANGER REQUIRED.

C. THE TRUSS SUPPLIER SHALL DESIGN ALL UP/LIFT ANCHORS AND COORDINATE AND DEFINE ANCHOR TYPE AND LOCATION ON THE TRUSS MANUFACTURER'S DRAWINGS.

D. THE TRUSS DESIGNER IS SOLELY RESPONSIBLE TO DESIGN ALL CHORD AND WEB MEMBER BRACING, PIGGY BACK BRACING, AND INTERMEDIATE LATERAL BRACES FOR CABLE TRUSS WEB MEMBERS.

E. ALL INTERNAL TRUSS CHORDS AND WEBS SHALL BE GALVANNEAL STEEL. ALL CHORDS THAT ARE IN CONTACT WITH THE RETARDANT, ACG, COPPER ALLOY, AND OTHER NOT-OD BORATE TREATED LUMBER (PRESERVATIVE TREATED LUMBER) SHALL BE GALVANNEAL STEEL.

5. MISCELLANEOUS:

- A. ALL FRAMING COMPONENTS MUST BE CUT SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS OR AS REQUIRED BY THE ANCHOR AND TIE AGAINST MEMBER MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED.
- B. ALL FIELD CUTTING OF MEMBERS MUST BE DONE BY SAWING OR SHEARING. TRUCK CUTTING OF COLD FORM MEMBERS IS NOT PERMITTED.
- C. ALL CUTS IN STUDS, JOISTS, OR OTHER LOAD CARRYING MEMBERS MAY BE MADE WITHOUT PRIOR ENGINEERING REVIEW AND SPECIFIC DETAILS FOR ANY SUCH SPLICES.
- D. WHERE STEEL, STUD, JOIST, AND/OR TRUSS IS USED FOR A BEAM, GIRDER, OR HEADER APPLICATION, THE MEMBER SHALL BE CONTINUOUS AND HAVE UNDISRUPTED WEBS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SPECIFY UNFURNISHED MEMBERS WHEN ORDERING MATERIALS. THE TRUSS IS NOT PERMITTED TO BE SPLICED IN COMPOSITE MEMBERS (HEADERS, BOSS BEAMS).
- E. PERMANENT MECHANICAL BRIDGING/BRIDGING:
 - 1.) INSTALL CONTINUOUS BRIDGING AT 4'-0" O.C. FOR VERTICAL LOAD BEARING STUD WALLS, U.N.O.
 - 2.) INSTALL CONTINUOUS BRIDGING AT 4'-0" O.C. FOR VERTICAL LOAD BEARING WALLS.
 - F. AT LOAD BEARING WALLS, MECHANICAL BRIDGING SHALL BE TERMINATED AND CONNECTED TO STRUCTURAL STEEL MEMBERS, CONCRETE WALLS, OR MASONRY WALLS, UNLESS NOTED OTHERWISE.
 - G. FOR CONNECTION TO STRUCTURAL STEEL, ALL WALLS SHALL HAVE STEEL SUPPORT CONNECTIONS TO THE STRUCTURAL STEEL FRAMING. PRECAST CONCRETE FRAMING, CONCRETE FRAMES.
 - H. TRACKS SHALL BE SECURELY ANCHORED TO FLOOR AND OVERHEAD STRUCTURES (AS INDICATED AND BY THE ENDS OF TRACKS) AT EACH SECTION. ANCHORS MUST BE INSTALLED NO MORE THAN 12" FROM TRACK END CONDITIONS.
 - I. MULTIPLE MEMBER STUD COLUMNS ARE TO HAVE 1/4" OF FILLET WELD SECTION. ANCHORS SHALL BE INSTALLED NO MORE THAN 12" FROM TRACK END CONDITIONS.

(OWNER) ARE REQUIRED TO HAVE APPROPRIATE PROTECTIVE FINISHES/MATERIALS.

4. SUBMITTALS:

A. TRUSS DESIGNS ARE TO BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. TRUSS SUBMITTAL SHALL INCLUDE THE FOLLOWING INFORMATION:

1. DESIGN INFORMATION FOR EACH TYPE OF TRUSS SUPPLIED.
2. LAYOUT DRAWING INDICATING LOCATION OF EACH SPECIFIC TRUSS TYPE.
3. TRUSS HANGER TYPE AND LOCATION FOR ALL TRUSSES FRAMING INTO TRUSSES.
4. TRUSS BRACING LOCATIONS (PERMANENT MEMBER), SIZES AND LOCATIONS.
5. TRUSS DESIGNS AND LAYOUT DRAWING STAMPED BY A REGISTERED PROFESSIONAL ENGINEER, STATE IN WHICH PROJECT IS CONSTRUCTED.

B. SUBMITTALS WHICH DO NOT INCLUDE THE ABOVE LISTED INFORMATION WILL BE RETURNED TO THE CONTRACTOR WITHOUT REVIEW.

5. TRUSS TEMPORARY AND PERMANENT BRACING:

A. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL REQUIRED ROOF TRUSS TEMPORARY, ERECTION, PERMANENT BRACING, BRACING DESIGN AND INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING:

- 1. AISC STEEL INSTITUTE (SIP) SPECIFICATIONS; AND/IF (A) AISC AND USE LATEST EDITIONS.
- 2. FOR TRUSS SPANS 60 FEET AND GREATER, THE CONTRACTOR IS RESPONSIBLE TO CONTRACT A REGISTERED DESIGN PROFESSIONAL FOR THE DESIGN OF THE TEMPORARY INSTALLATION RESTRAINT/BRACING AND THE PERMANENT BRACING. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL SPECIAL INSPECTIONS OF THE BRACING PERFORMANCE. THE CONTRACTOR IS RESPONSIBLE FOR COSTS ASSOCIATED WITH THE PERMANENT BRACING DESIGN, INSTALLATION INSPECTION.

6. MISCELLANEOUS:

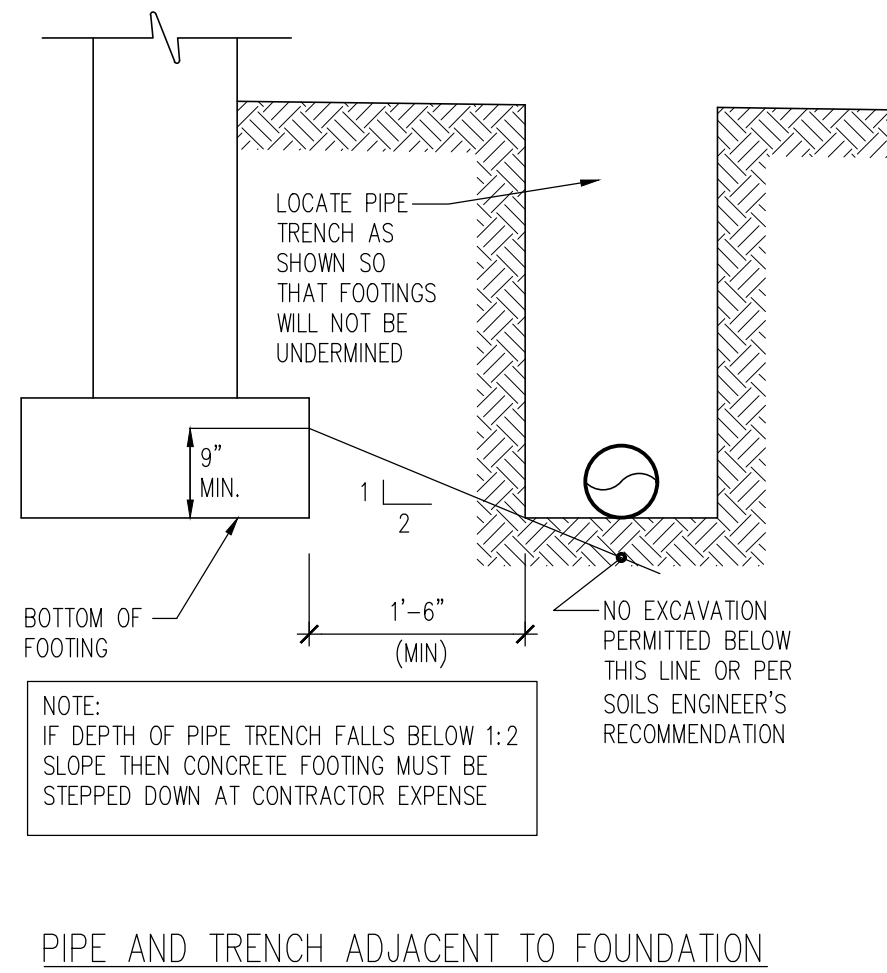
A. ALL MEMBERS OF MULTIPLE JOINT TRUSSES ARE TO BE MAILED TOGETHER PER TRUSS SUPPLIER REQUIREMENTS.

1. INSTALL METAL UPLIFT ANCHOR AT ALL TRUSS BEARING LOCATIONS UNLESS NOTED OTHERWISE.

B. THE BOTTOM MEMBERS OF THE TRUSS ARE TO BE MAILED TOGETHER PER THE ERECTION AND FINAL STABILITY OF THE TRUSSES, SHALL BE THE SOLE RESPONSIBILITY OF THE TRUSS SUPPLIER.

C. DRYWALL INSTALLATION ALLOWANCES SHALL BE MADE BY THE CONTRACTOR TO ACCOUNT FOR POTENTIAL UPLIFT FROM THE BOTTOM MEMBERS THAT MIGHT BE CAUSED BY DISTORTION OF THE TRUSS MEMBERS DUE TO VARIATION IN THE MOISTURE CONTENT OF THE TRUSS MEMBER. AT THESE LOCATIONS, FLOATING DRYWALL WITH BACK BOLD SHALL BE INSTALLED. CONTACT THE ARCHITECT OR ENGINEER FOR RECOMMENDED FINAL INSTALLATION DETAILS AND INSTRUCTIONS.

Packet Pg. 1

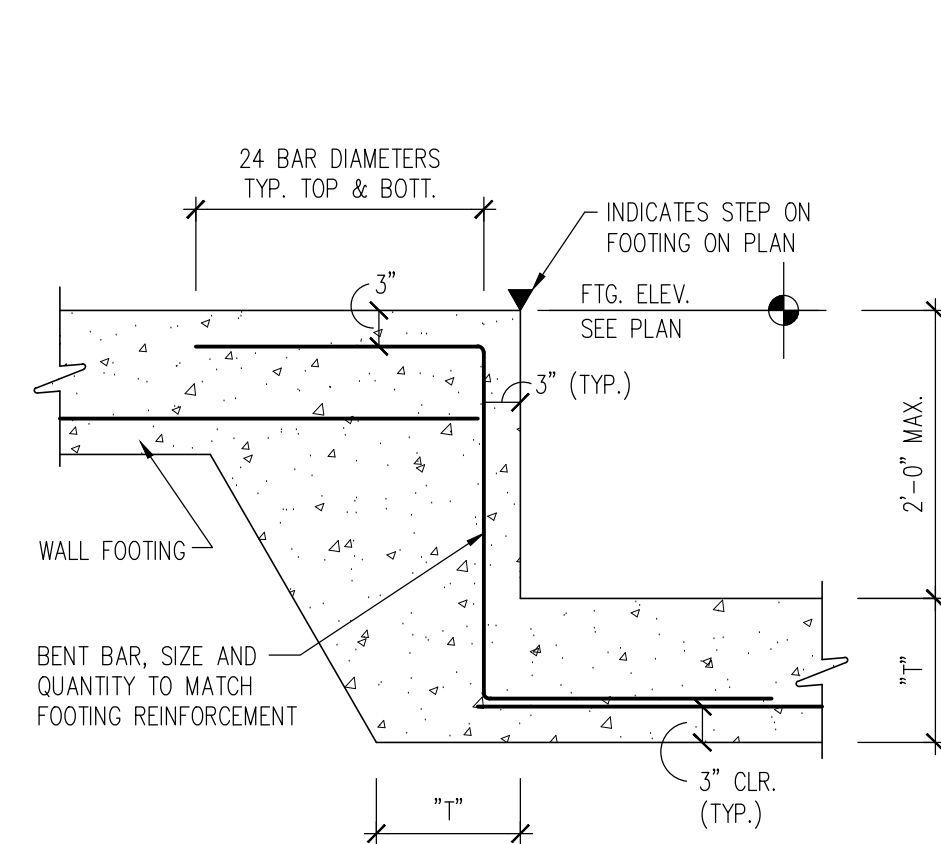


2 LAYERS OF REINF.

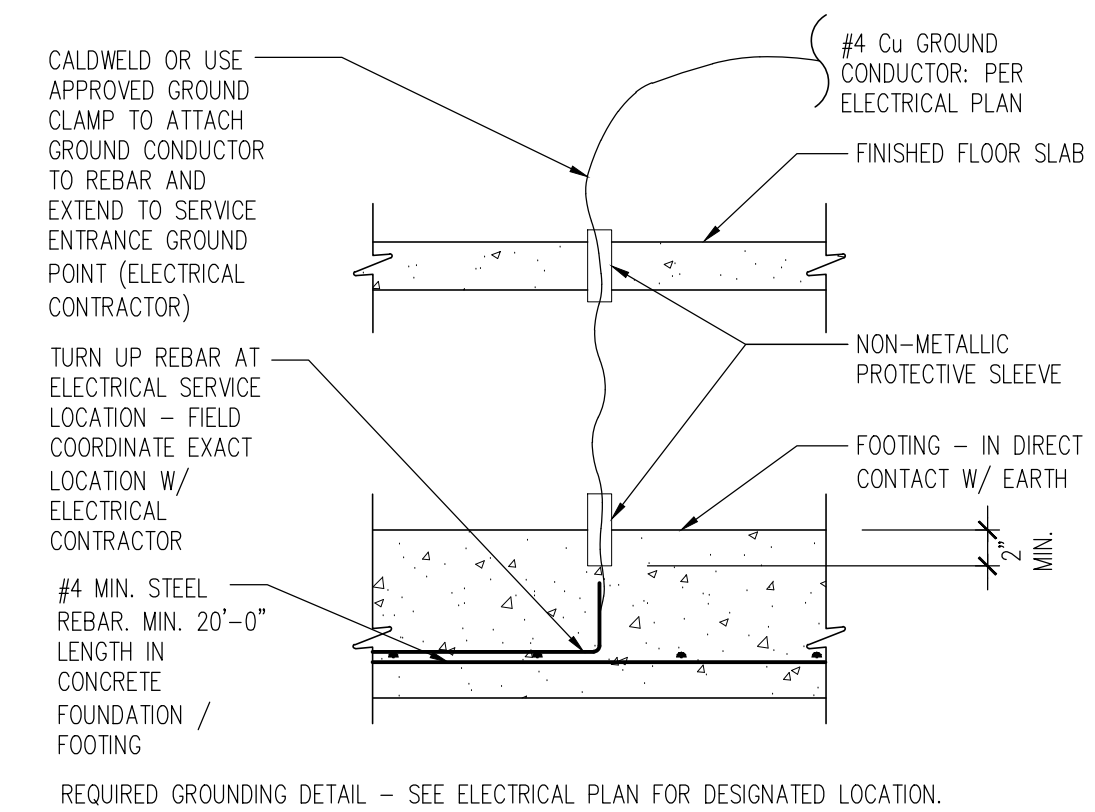
PLAN DETAIL

$3/4" = 1'-0"$

2



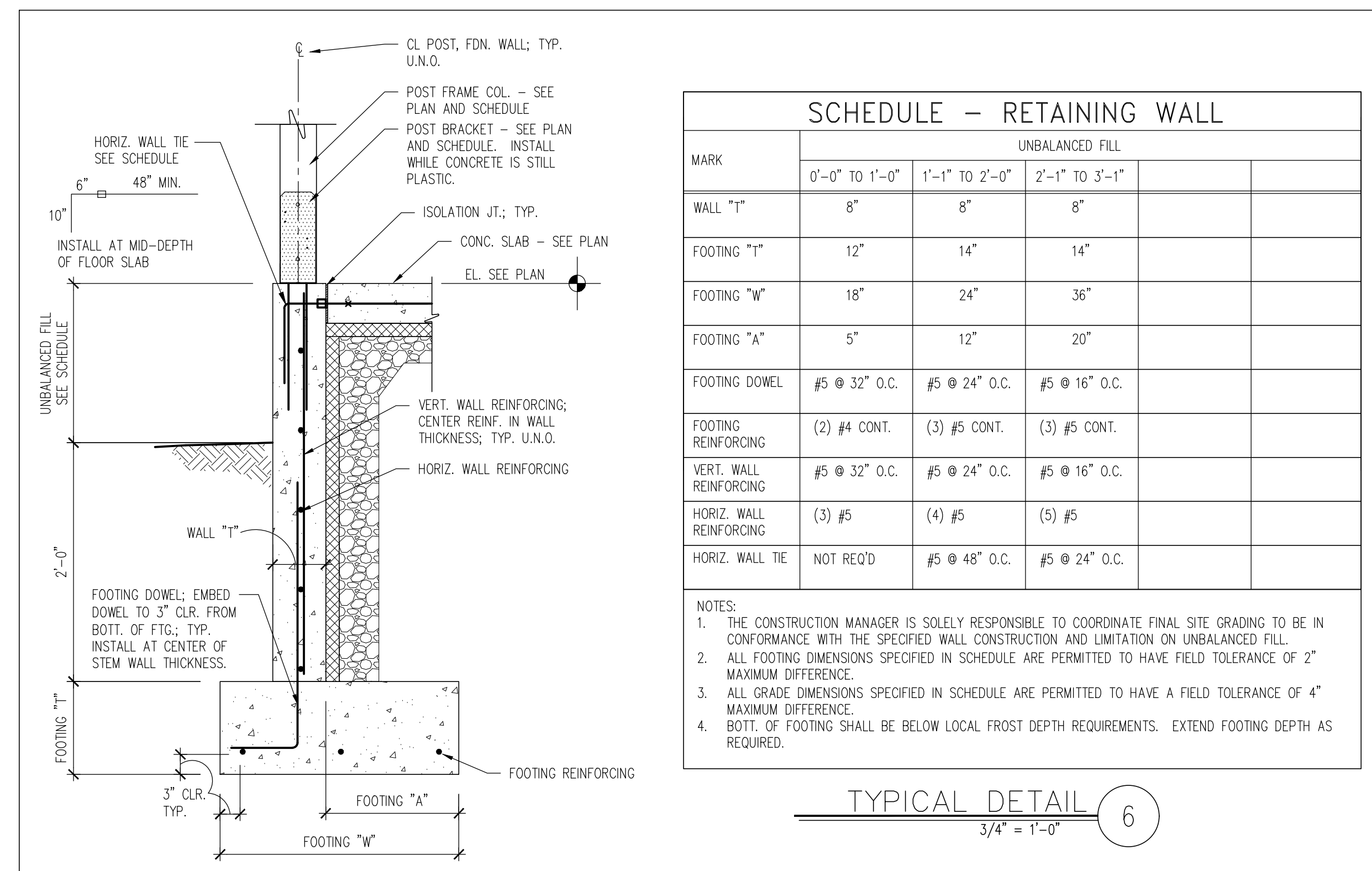
TYPICAL DETAIL 3



TYPICAL DETAIL

NOT TO SCALE

4



TYPICAL DETAIL 6

SCHEDULE — RETAINING WALL					
MARK	UNBALANCED FILL				
	0'-0" TO 1'-0"	1'-1" TO 2'-0"	2'-1" TO 3'-1"		
WALL "1"	8"	8"	8"		
FOOTING "1"	12"	14"	14"		
FOOTING "W"	18"	24"	36"		
FOOTING "A"	5"	12"	20"		
FOOTING DOWEL	#5 @ 32" O.C.	#5 @ 24" O.C.	#5 @ 16" O.C.		
FOOTING REINFORCING	(2) #4 CONT.	(3) #5 CONT.	(3) #5 CONT.		
VERT. WALL REINFORCING	#5 @ 32" O.C.	#5 @ 24" O.C.	#5 @ 16" O.C.		
HORIZ. WALL REINFORCING	(3) #5	(4) #5	(5) #5		
HORIZ. WALL TIE	NOT REQ'D	#5 @ 48" O.C.	#5 @ 24" O.C.		

NOTES:

1. THE CONSTRUCTION MANAGER IS SOLELY RESPONSIBLE TO COORDINATE FINAL SITE GRADING TO BE IN CONFORMANCE WITH THE SPECIFIED WALL CONSTRUCTION AND LIMITATION ON UNBALANCE FILL.
2. ALL FOOTING DIMENSIONS SPECIFIED IN SCHEDULE ARE PERMITTED TO HAVE FIELD TOLERANCE OF 2" MAXIMUM DIFFERENCE.
3. ALL DIMENSIONS SPECIFIED IN SCHEDULE ARE PERMITTED TO HAVE A FIELD TOLERANCE OF 4" MAXIMUM DIFFERENCE.
4. BOTT. OF FOOTING SHALL BE BELOW LOCAL FROST DEPTH REQUIREMENTS. EXTEND FOOTING DEPTH AS REQUIRED.

A NEW COMMERCIAL BUILDING FOR:
**MOUNT VERNON
OVERHEAD DOOR**

4/7/2021
zoning submission
design development
construction document
bidding
building permit submission
not for construction
record / archive
In Progress
cadfile

job no. _____

drawn _____

MJN

SECTIONS / DETAILS

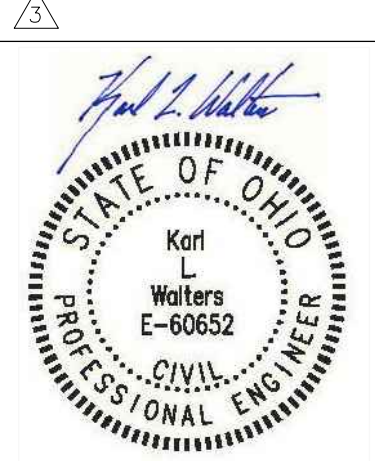
SD-2

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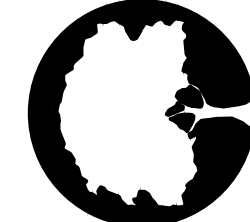
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REVISIONS

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GREEN VALLEY DESIGN, LLC
112 Harcourt Rd., Suite 5
Mount Vernon, Ohio 43050



A NEW COMMERCIAL BUILDING FOR:

MOUNT VERNON OVERHEAD DOOR

810 N. SANDUSKY STREET
MT. VERNON, OH 43050

4/7/2021

zoning submission ☐
design development ☒
construction document ☒
bidding ☐
building permit submission ☒
not for construction ☐
record / archive ☐
In Progress ☐
cadfile ☐

job no.

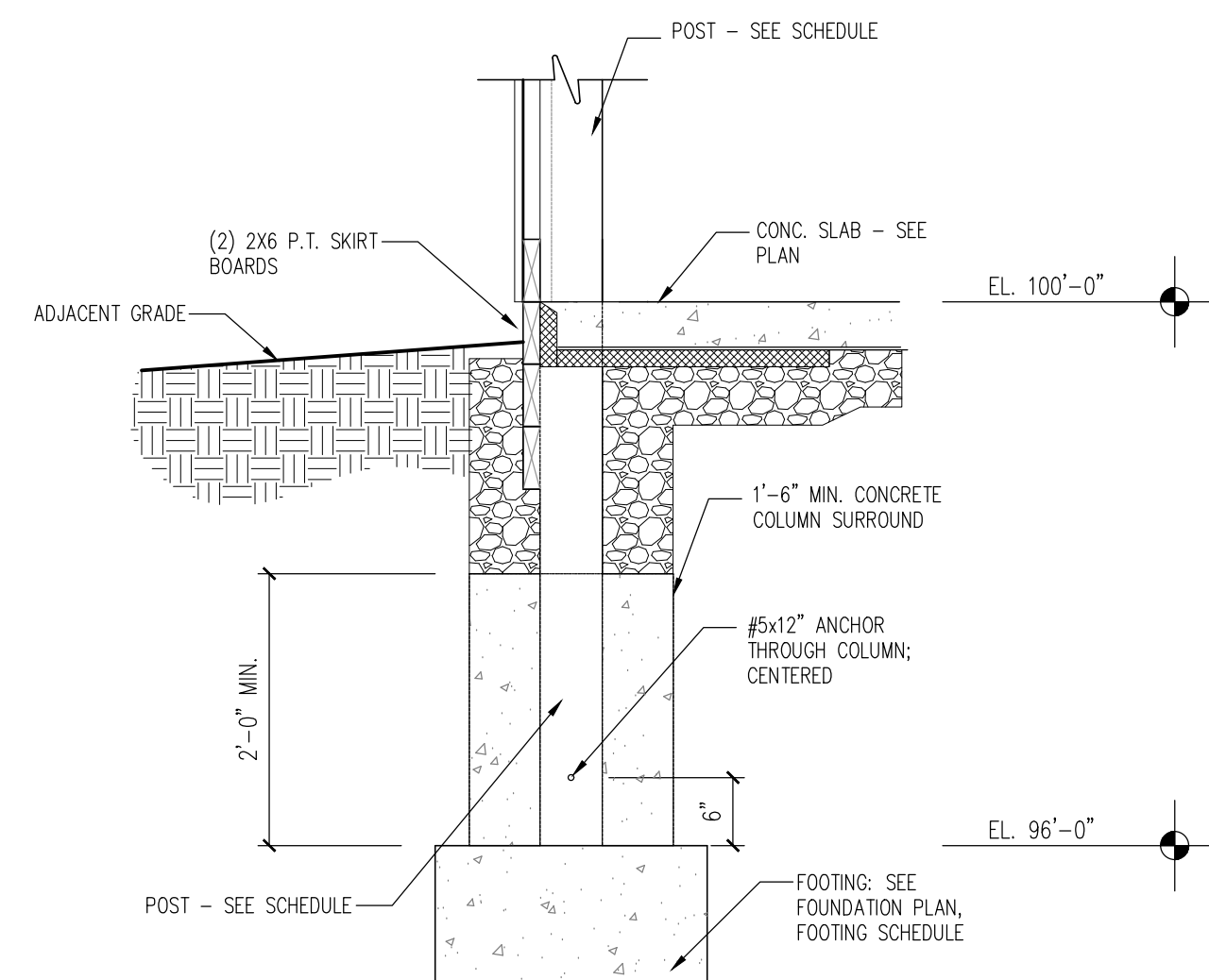
drawn

M/JN

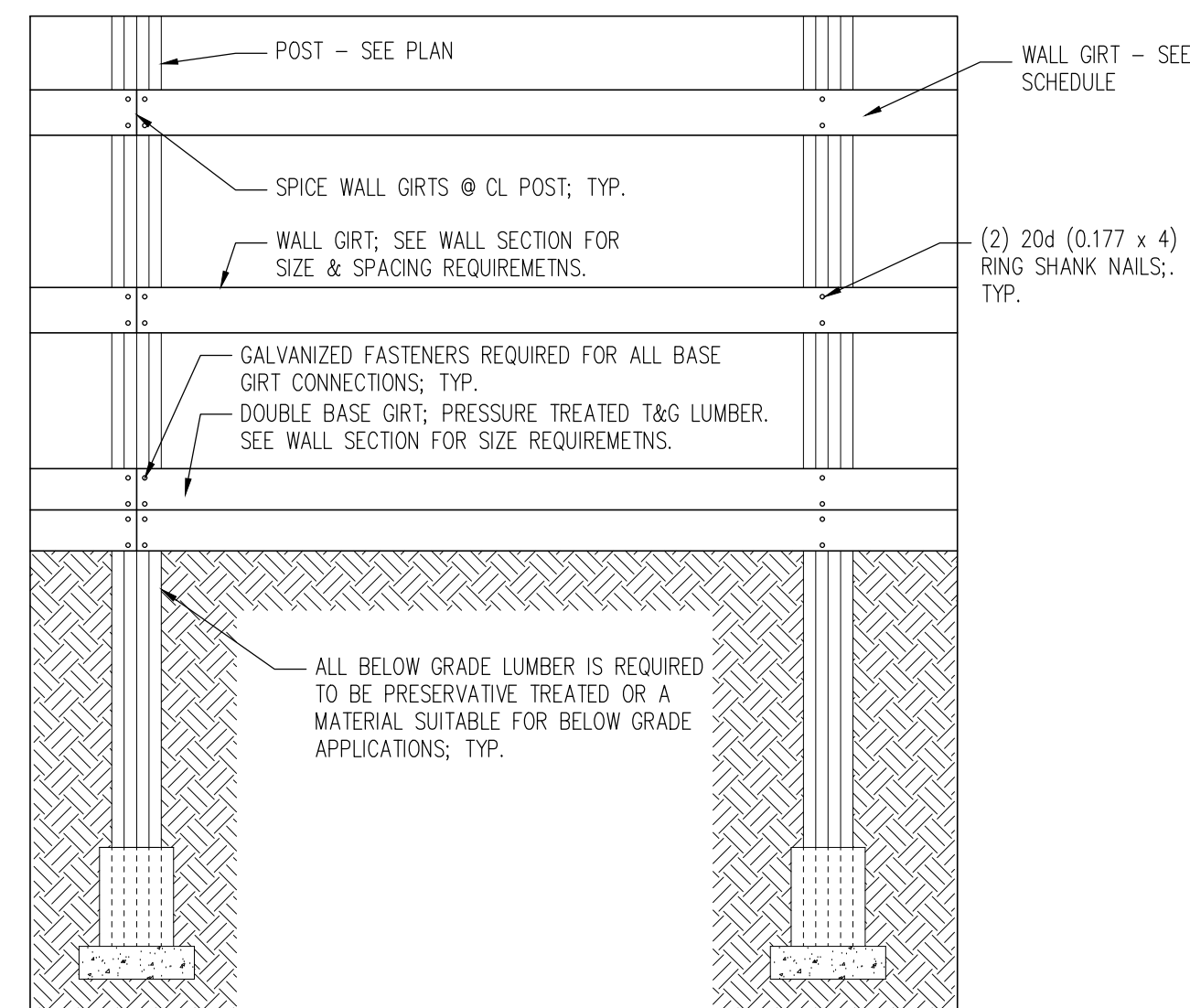
SECTIONS / DETAILS

SD-3

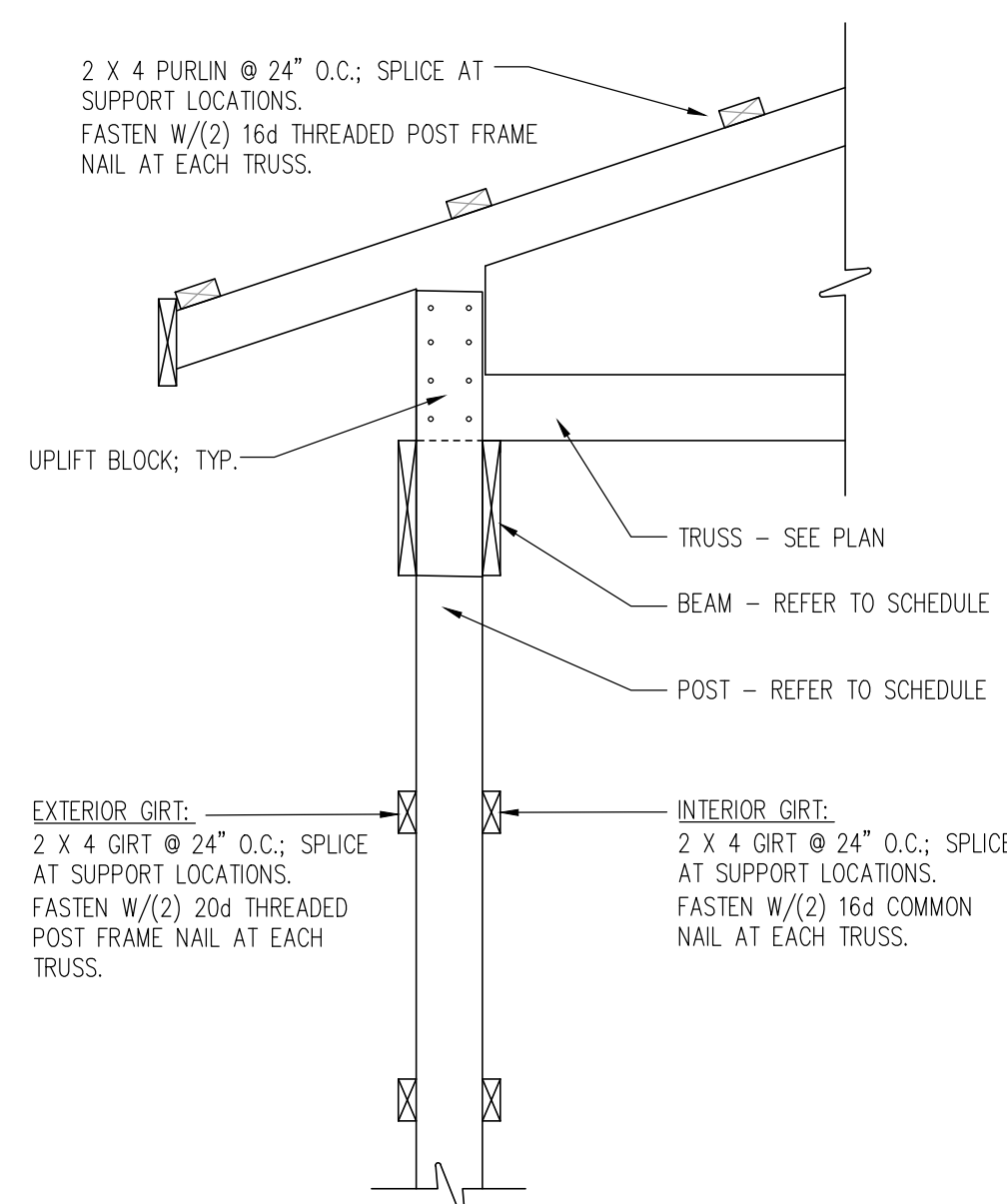
JACK D. WALTERS & ASSOCIATES, INC.
PROJECT NO. 21-061
DESIGNED BY KJW
DRAWN BY MJK/KJW
PROGRESS DRAWINGS
OWNER REVIEW
PERMIT DRAWINGS
CONSTRUCTION DRAWINGS



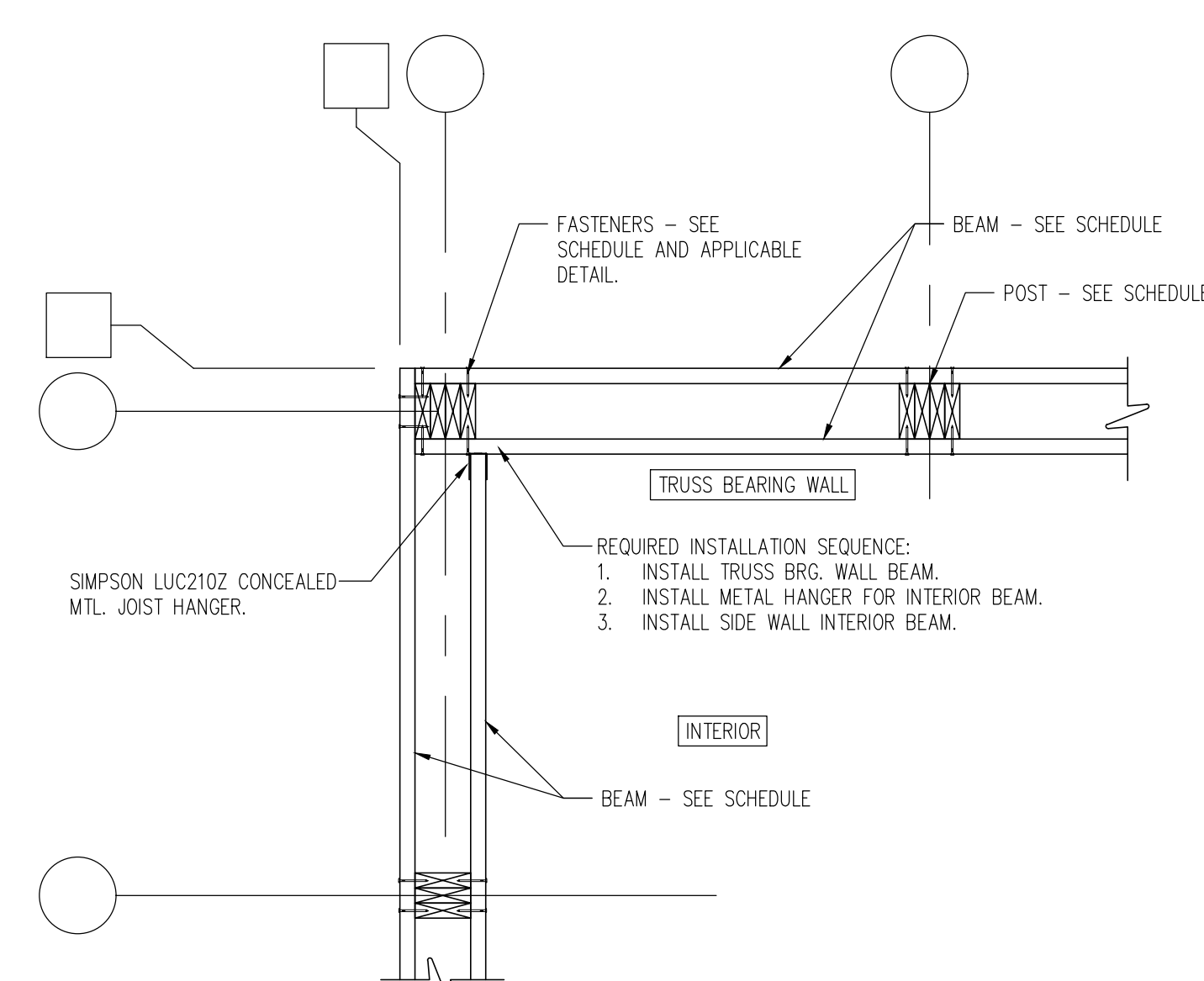
TYPICAL DETAIL 1
FOUNDATION DETAIL 3/4" = 1'-0"



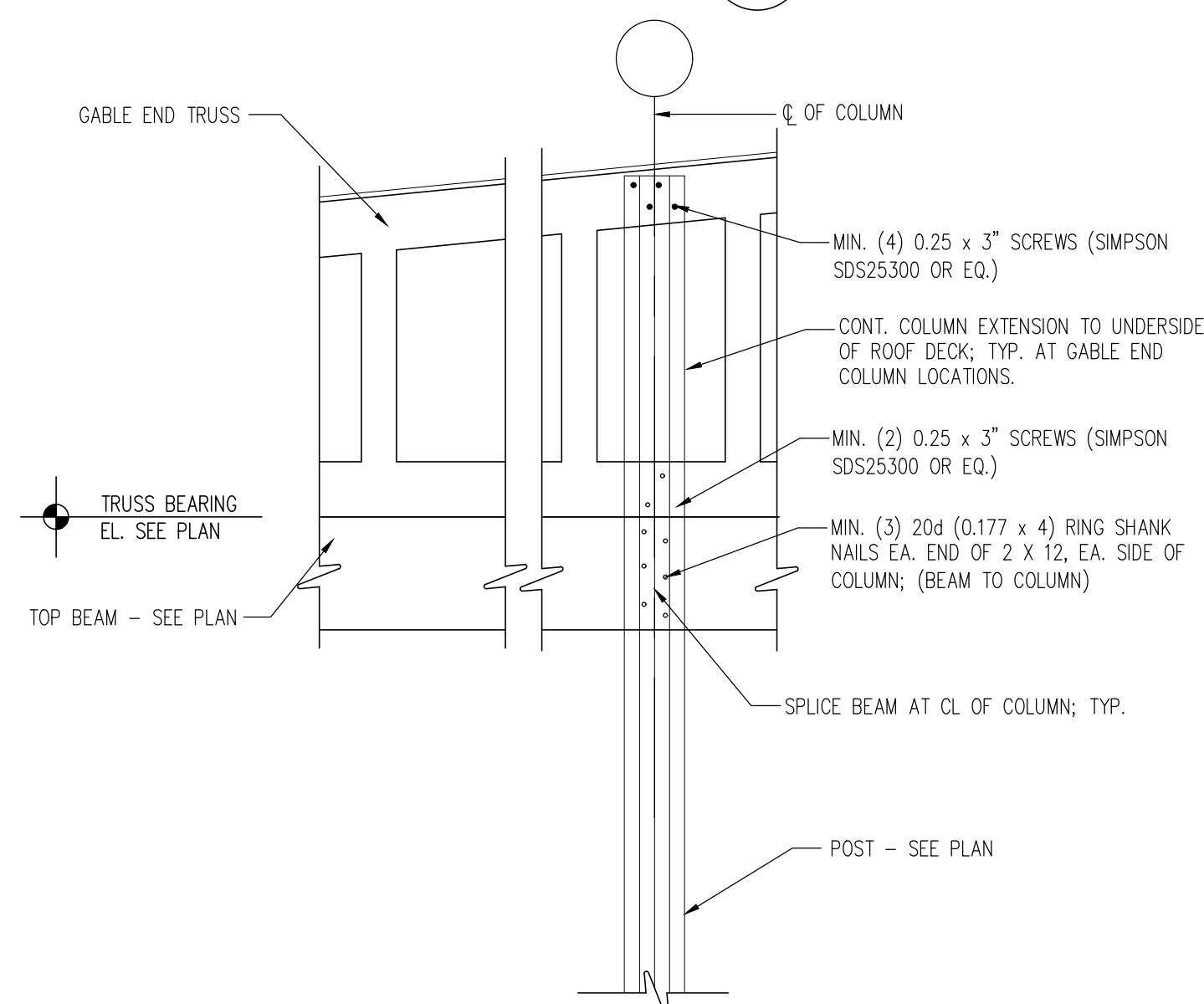
TYPICAL DETAIL 2
WALL ELEVATION 3/4" = 1'-0"



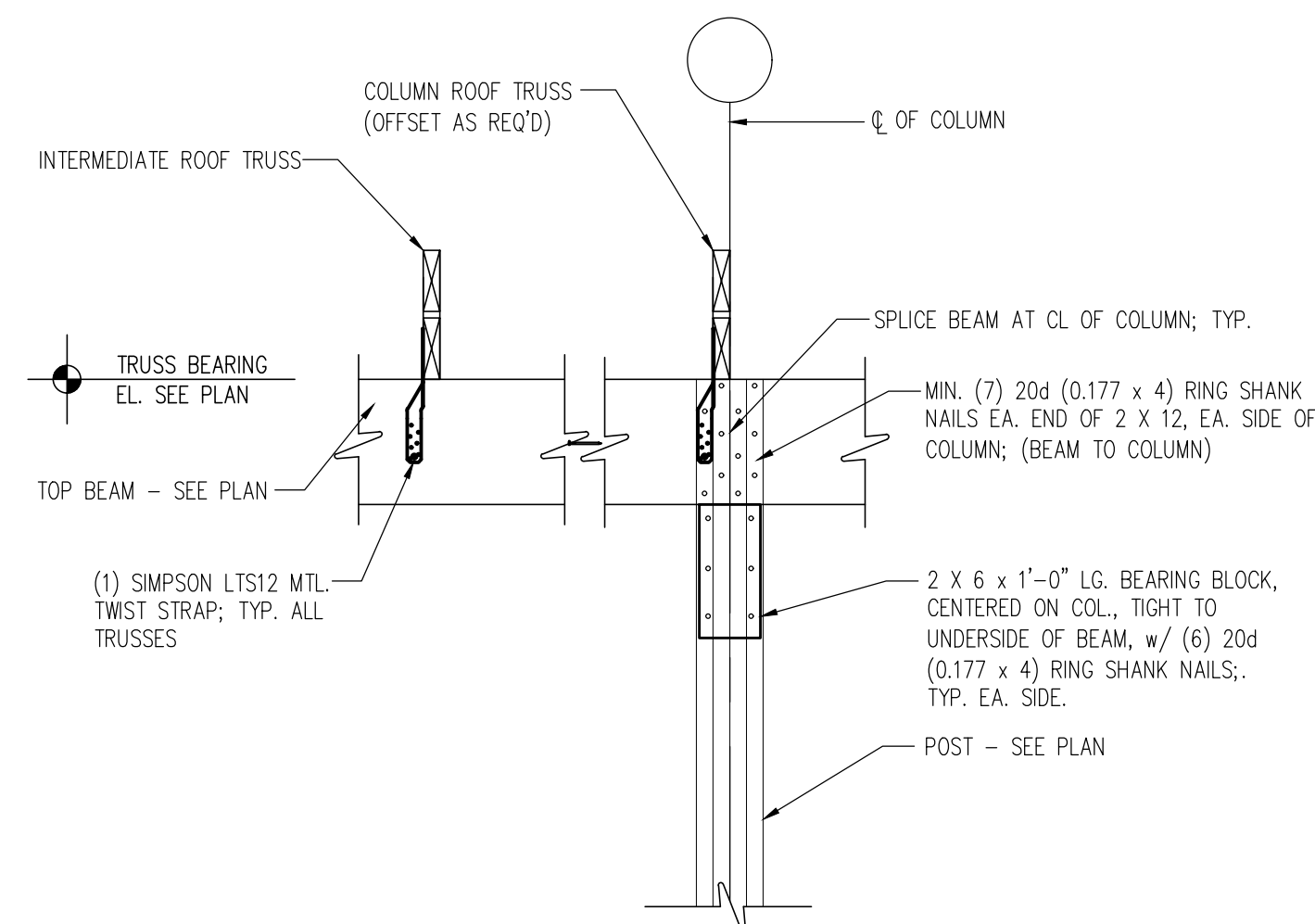
TYPICAL DETAIL 3
PURLIN AND GIRT REQUIREMENTS 3/4" = 1'-0"



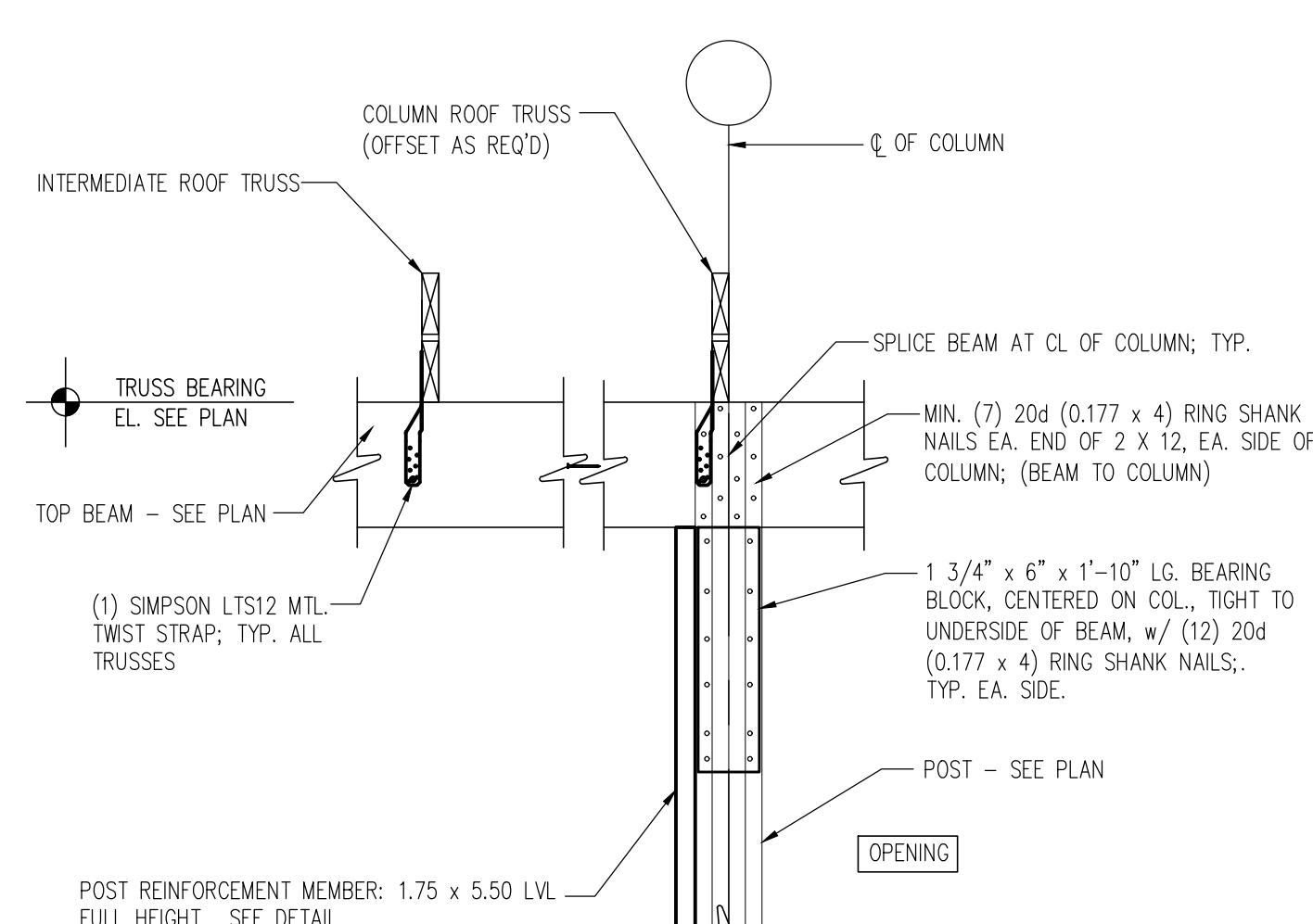
TYPICAL PLAN DETAIL 4
CORNER CONDITIONS 3/4" = 1'-0"



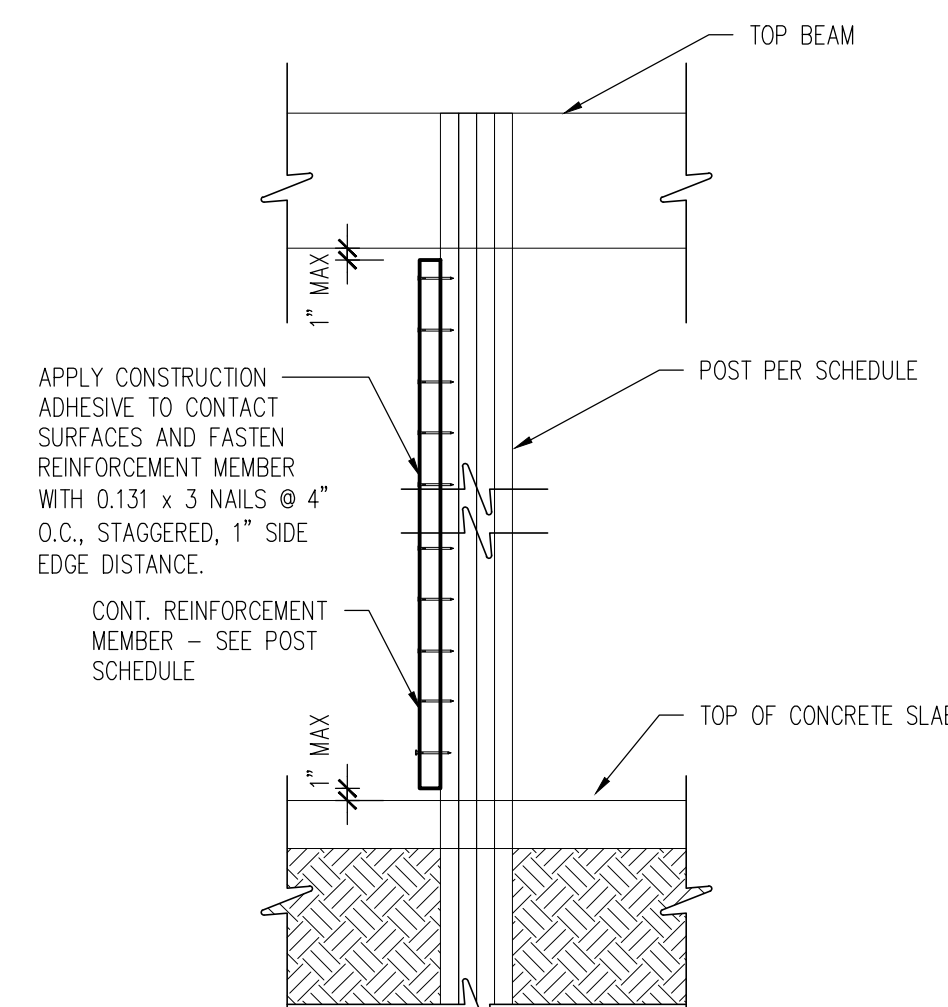
TYPICAL DETAIL 5
3/4" = 1'-0"



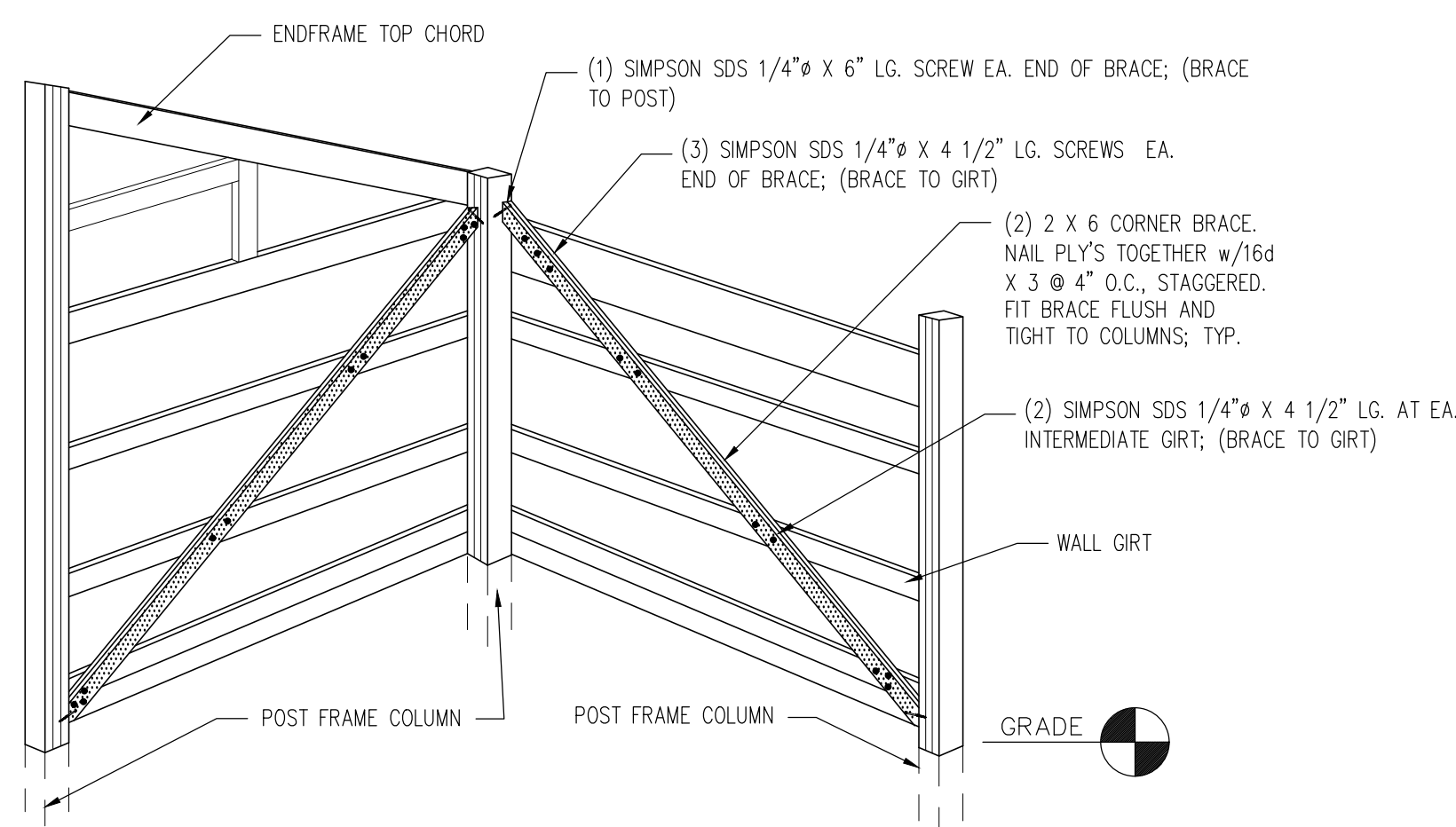
TYPICAL DETAIL 6
(2) 2 x 12 3/4" = 1'-0"



TYPICAL DETAIL 7
(2) LVL BEAM 3/4" = 1'-0"



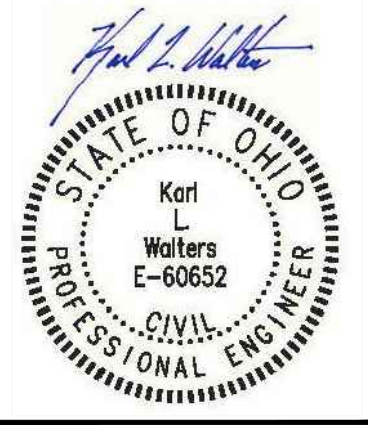
TYPICAL DETAIL 8
3/4" = 1'-0"



LATERAL BRACING ELEVATION SW1
N.T.S.

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GREEN VALLEY DESIGN, LLC

112 Harcourt Rd, Suite 5
Mount Vernon, Ohio 43050

740-397-2282

A NEW COMMERCIAL BUILDING FOR:
**MOUNT VERNON
OVERHEAD DOOR**

810 N. SANDUSKY STREET
MT. VERNON, OH 43050

4/7/2021

zoning submission	☐
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cadfile

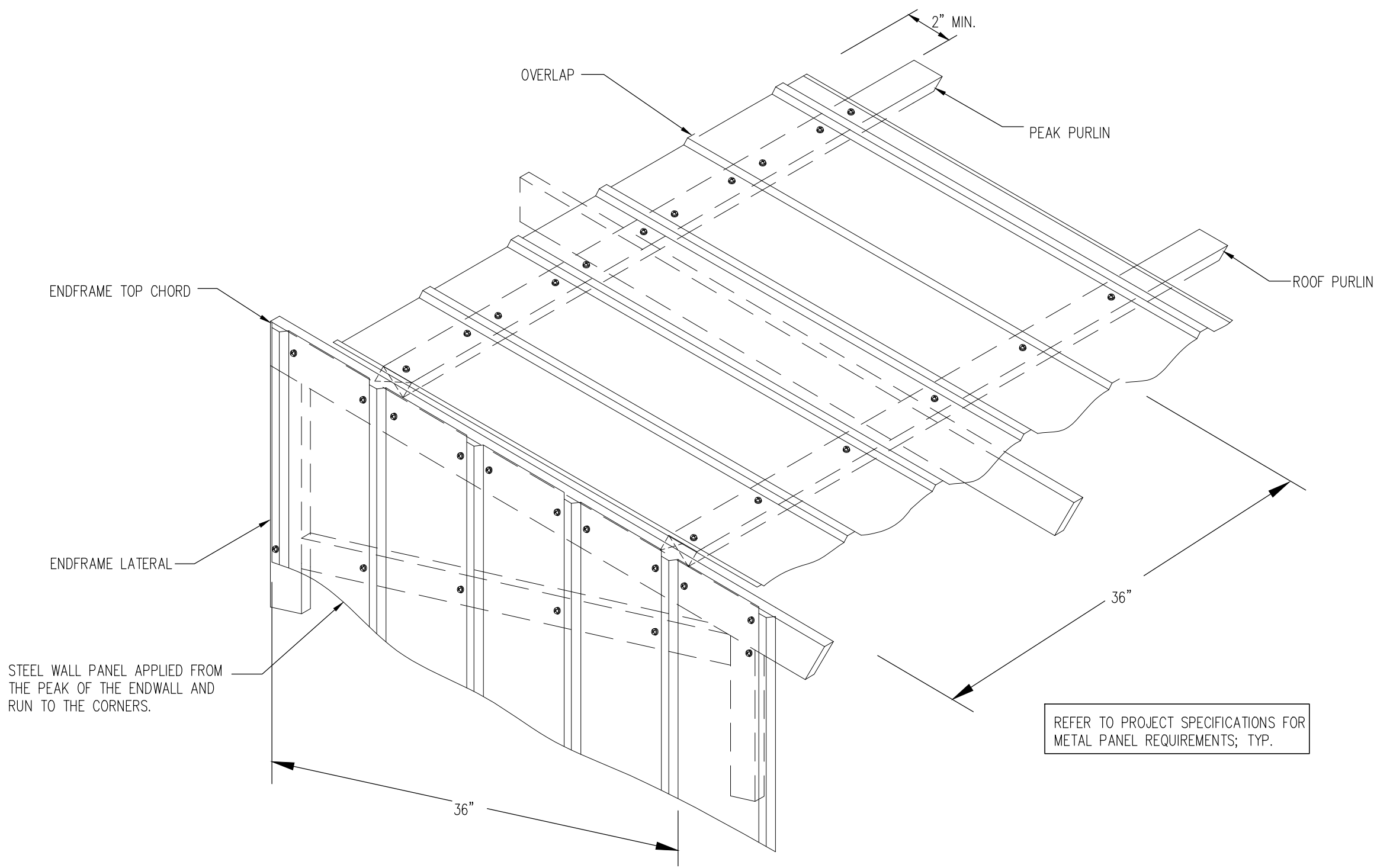
job no. _____

drawn M, JN

SECTIONS / DETAILS

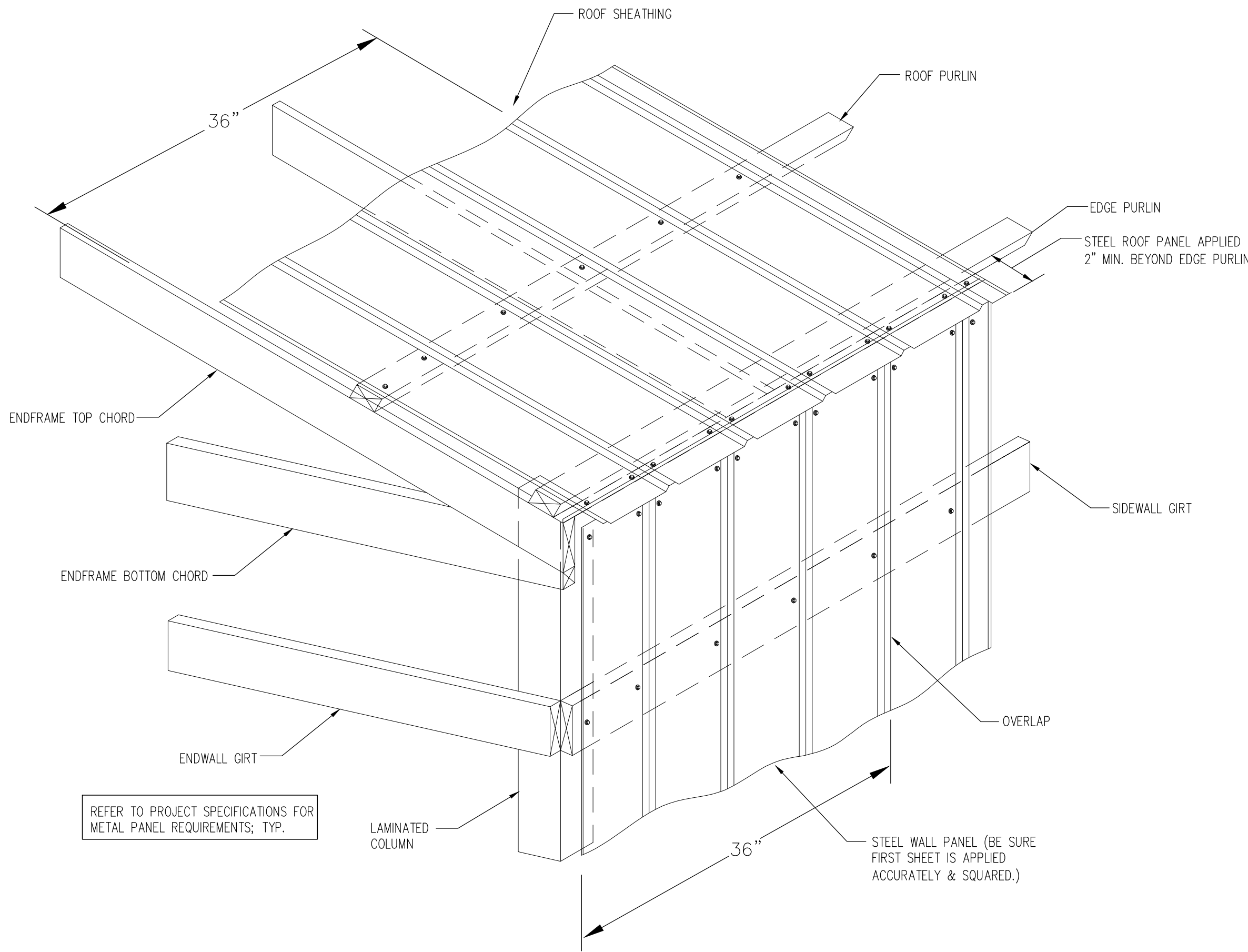
SD-4

	JACK D. WALTERS & ASSOCIATES, INC.
	PROJECT NO. 21-061
	DESIGNED BY KJW
	DRAWN BY M.W./Z.M.
PROGRESS DRAWINGS	
OWNER REVIEW	
PERMIT DRAWINGS	
CONSTRUCTION DRAWINGS	



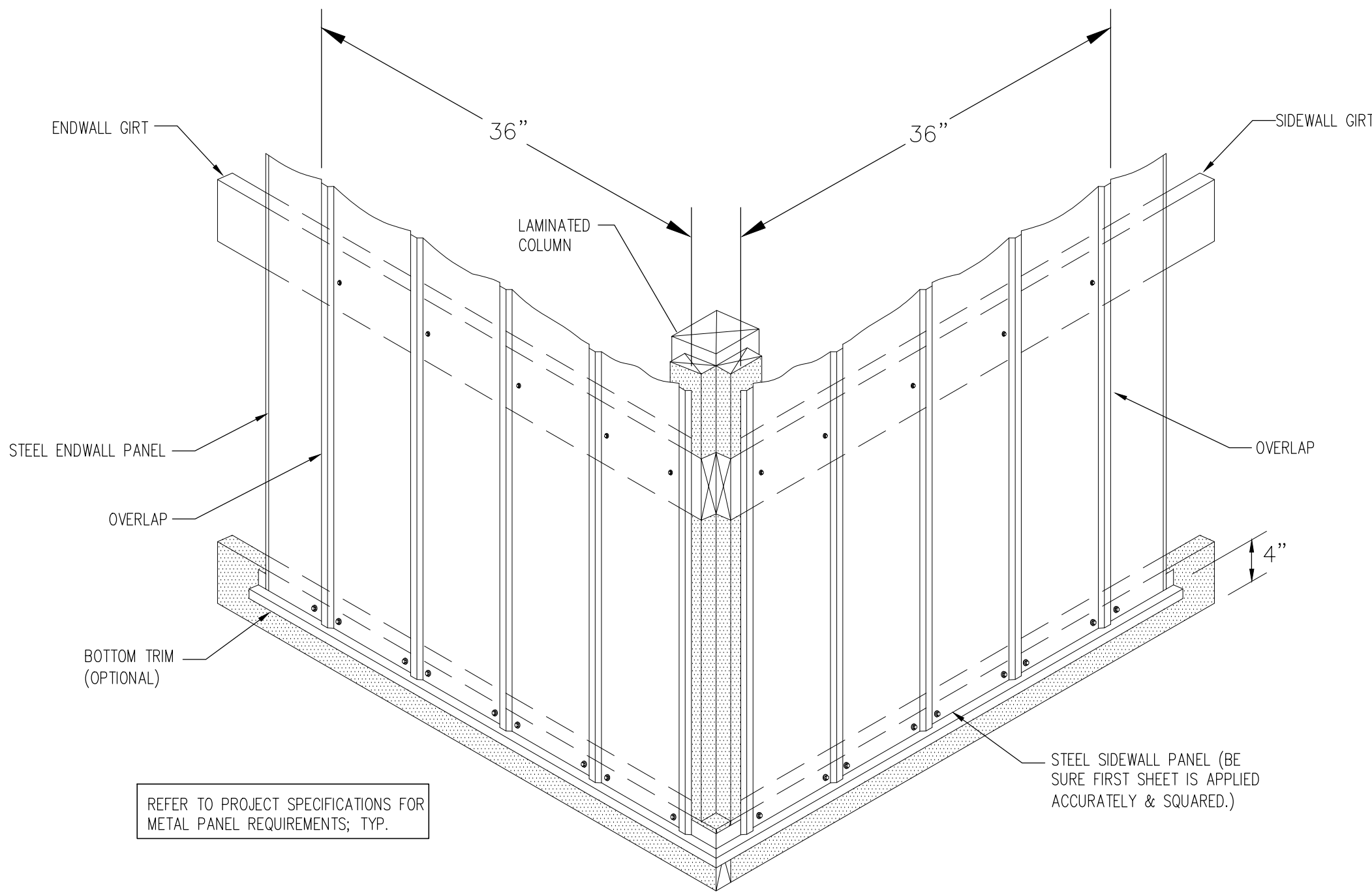
ROOF & ENDWALL STEEL APPLICATION @ GABLE PEAK & INTERMEDIATE

TYPICAL DETAIL 1
3/4" = 1'-0"



ROOF & SIDEWALL STEEL APPLICATION @ EAVE

TYPICAL DETAIL 2
3/4" = 1'-0"



WALL STEEL APPLICATION @ GRADEBOARD

TYPICAL DETAIL 3
3/4" = 1'-0"



prepared by
HILL ENGINEERING
3 W. Central Ave.
Delaware, Ohio 43015
740-363-0400

PLUMBING GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND STANDARDS.
2. PLUMBING CONTRACTOR SHALL SCHEDULE ALL INSPECTIONS REQUIRED FOR THEIR WORK.
3. PLUMBING CONTRACTOR TO PROVIDE ALL TRIM REQUIRED FOR A COMPLETE INSTALLATION INCLUDING STOP VALVES, TRAPS, DRAINS, AND ESCUTCHEON PLATES.
4. SANITARY AND VENT PIPING SHALL BE PER OPC CHAPTER 7 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ABOVE GROUND DRAINAGE AND VENT PIPE SHALL BE PER TABLE 702.1 WITH UNDERGROUND BUILDING DRAINAGE AND VENT PIPE PER TABLE 702.2. ALL FITTINGS SHALL BE PER TABLE 702.4.
5. GAS PIPING SHOWN ON THE DRAWINGS SIZED USING IFGC TABLE 402.4 (3), FOR SCH. 40 METALLIC PIPE, LESS THAN 2 PSI, PRESSURE DROP 0.5" WC. PROVIDE PIPING SUPPORTS PER IFGC CHAPTER 4, GAS PIPING INSTALLATIONS, SECTION 415, PIPING SUPPORT INTERVALS, TABLE 415.1 SUPPORT OF PIPING.

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND STANDARDS.
2. MECHANICAL CONTRACTOR SHALL SCHEDULE ALL INSPECTIONS REQUIRED FOR THEIR WORK.
3. DUCT WORK SHALL BE METAL PER THE MOST RECENT SMACNA STANDARDS AND OMC CHAPTER 6, DUCT SYSTEMS, SECTION 603, DUCT CONSTRUCTION AND INSTALLATION. ALL SUPPLY AND RETURN DUCTS SHALL BE SEALED AND INSULATED IN CONFORMANCE WITH SECTION C403.2.7 IECC-12 FOR CLIMATE ZONE 5.
4. PROVIDE ALL HANGERS AND SUPPORTS REQUIRED TO INSTALL DUCT. COORDINATE LOCATION OF DUCT WITH EXISTING STRUCTURAL MEMBERS, LIGHTS, AND ALL OTHER TRADES.
5. REFRIGERANT AND PVC VENT/ COMBUSTION AIR PIPING SHALL BE SIZED FOR LENGTH OF RUN PER MANUFACTURER'S RECOMMENDATIONS.
6. PROVIDE A PROGRAMMABLE THERMOSTAT WITH SET-BACK CONTROLS PER C403.2.4.3 IECC-12.

AIR DEVICE SCHEDULE

- D-1 12/8 DUCT MOUNTED DOUBLE DEFLECTION SUPPLY AIR REGISTER
R-1 16/16 DUCT MOUNTED RETURN GRILLE

EQUIPMENT SCHEDULE

- AH-1 MIN. 92% AFUE HORIZONTAL GAS FIRED FURNACE RATED AT 10000 CFM @ 0.5" SP, 120V, 1Ø, 60 hz; HEATING = 60 MBH INPUT WITH NATURAL GAS; COOLING = 30 MBH AT 51D ARI CONDITIONS WITH R-410a; EXTEND PVC VENT/ COMBUSTION AIR PIPING THRU WALL WITH CONCENTRIC TERMINATION KIT SIZED PER MANUFACTURER'S RECOMMENDATIONS FOR LENGTH OF RUN; EXTEND CONDENSATE DRAINS DOWN WALL AND TO OUTSIDE AT 18" ABOVE GRADE.
- CU-1 AIR COOLED CONDENSING UNIT RATED AT 30 MBH TO MATCH COOLING COIL, 24V, 1Ø, 60 hz; REFRIGERANT PIPING SHALL BE SIZED PER MANUFACTURER'S RECOMMENDATIONS FOR LENGTH OF RUN.

OUTSIDE AIR SCHEDULE

- AH-1: PER OMC 502.14, MOTOR VEHICLE OPERATION, EXCEPTION 3, MECHANICAL VENTILATION PER OMC 403 SHALL NOT APPLY TO MOTOR VEHICLE GARAGE WHERE ENGINES ARE OPERATED INSIDE THE BUILDING ONLY FOR THE DURATION NECESSARY TO MOVE THE MOTOR VEHICLES IN AND OUT OF THE BUILDING.

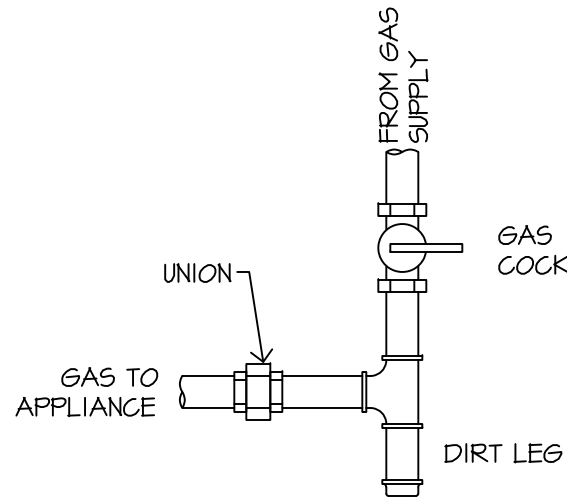
PER CHAPTER 4, VENTILATION, SECTION 402, NATURAL VENTILATION, 402.2 VENTILATION AREA REQUIRED, THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

AREA FOR NATURAL VENTILATION = 1265 SQ. FT.
OPENABLE AREA REQUIRED = 1265 SQ. FT. x 0.04 = 51 SQ. FT.
OPENABLE AREA PROVIDED:
(1 GARAGE DOOR (14'-0" x 14'-0")) = 196 SQ. FT.
(1 DOOR (3'-0" x 6'-8")) = 20 SQ. FT.
TOTAL OPENABLE AREA PROVIDED = 216 SQ. FT.

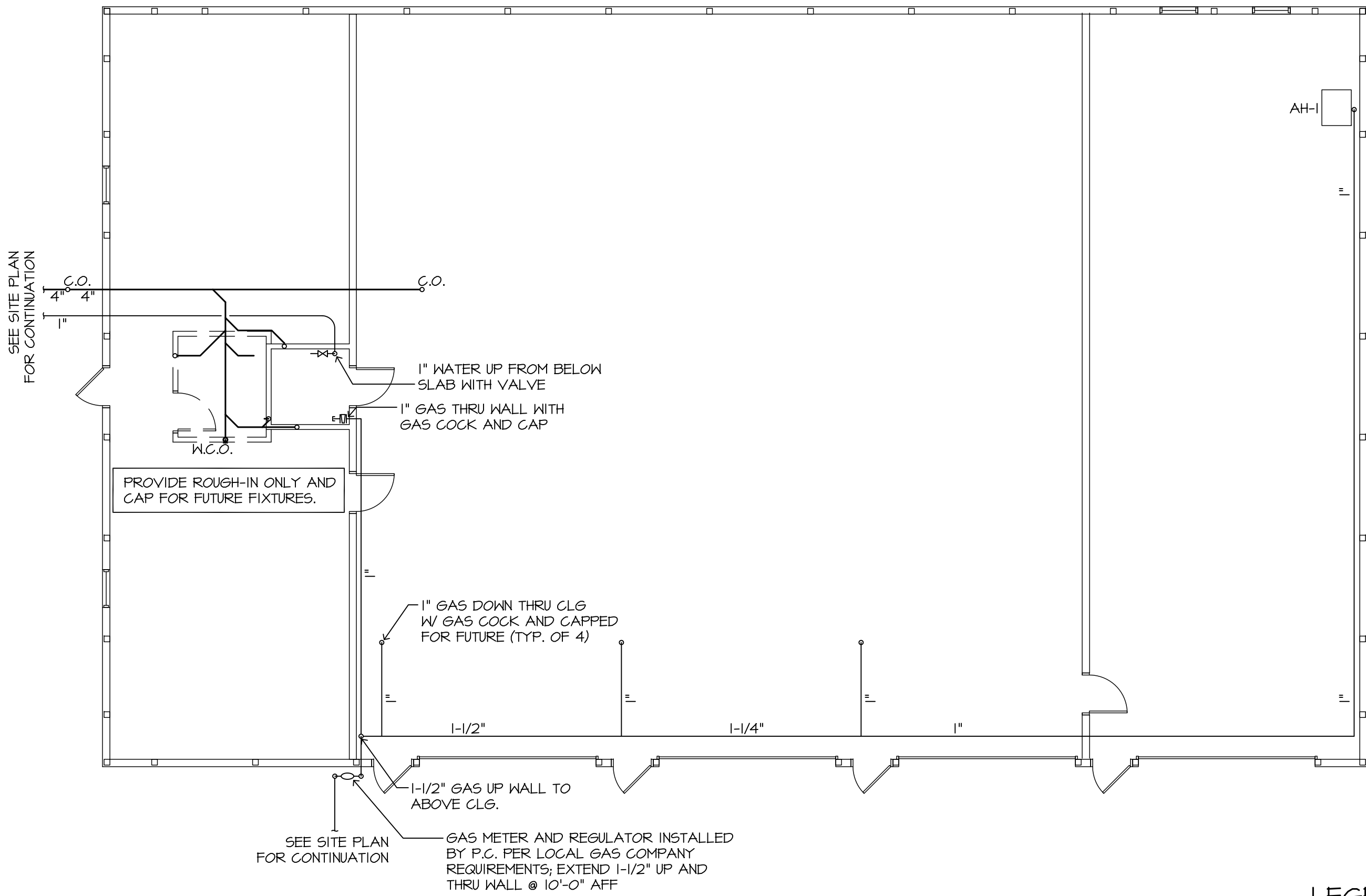
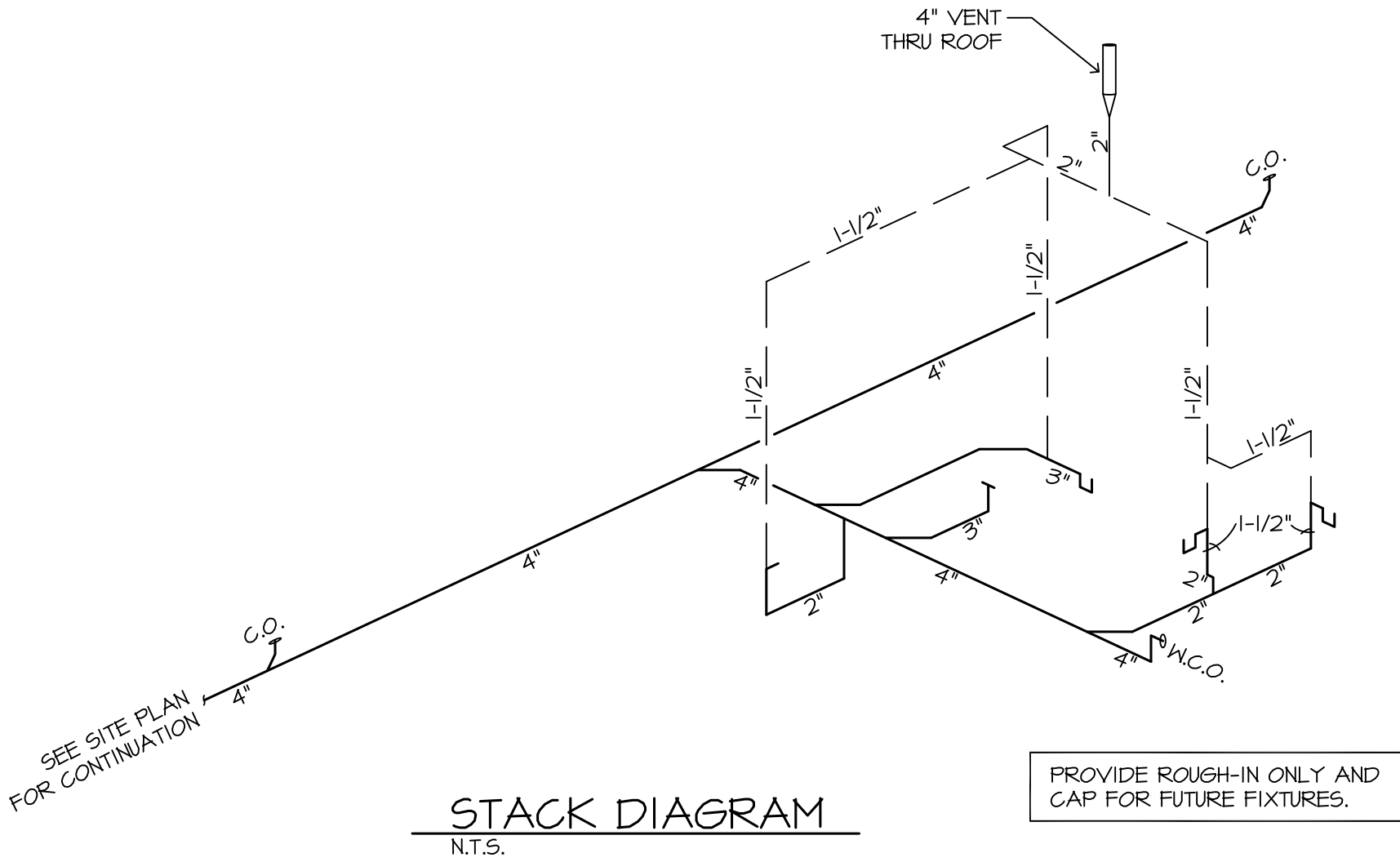
- GARAGE AREA: PER OMC 502.14, MOTOR VEHICLE OPERATION, EXCEPTION 3, MECHANICAL VENTILATION PER OMC 403 SHALL NOT APPLY TO MOTOR VEHICLE GARAGE WHERE ENGINES ARE OPERATED INSIDE THE BUILDING ONLY FOR THE DURATION NECESSARY TO MOVE THE MOTOR VEHICLES IN AND OUT OF THE BUILDING.

PER CHAPTER 4, VENTILATION, SECTION 402, NATURAL VENTILATION, 402.2 VENTILATION AREA REQUIRED, THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

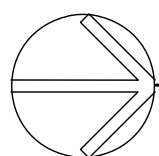
AREA FOR NATURAL VENTILATION = 3400 SQ. FT.
OPENABLE AREA REQUIRED = 3400 SQ. FT. x 0.04 = 136 SQ. FT.
OPENABLE AREA PROVIDED:
(3 GARAGE DOORS (14'-0" x 14'-0")) = 588 SQ. FT.
(3 DOORS (3'-0" x 6'-8")) = 60 SQ. FT.
TOTAL OPENABLE AREA PROVIDED = 648 SQ. FT.



GAS COCK/ DIRT LEG DETAIL
N.T.S.



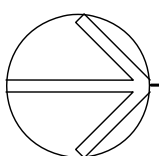
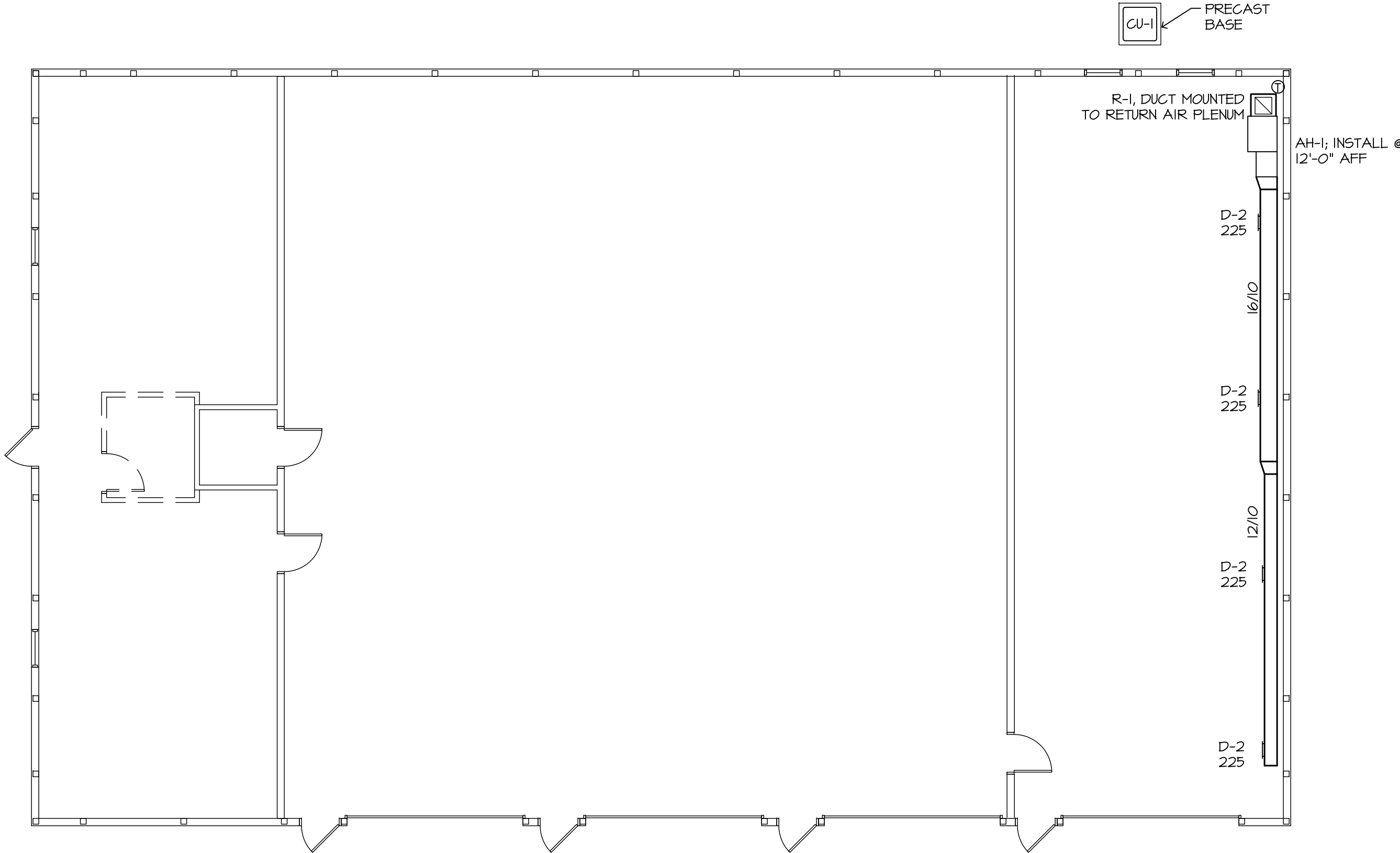
TOTAL CONNECTED GAS LOAD
AH-1: 60,000 INPUT x 1 FURNACE = 60,000
FUTURE UNIT HEATERS: 150,000 INPUT x 4 UNIT HEATERS = 600,000
TOTAL CONNECTED GAS LOAD = 660,000
GAS TO BE DELIVERED AT 7" WC. TO EQUIPMENT.



PLUMBING PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- CH
- HM
- SAN
- VENT
- G



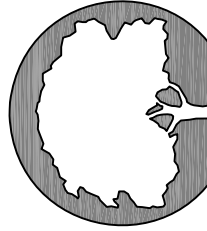
MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

A NEW COMMERCIAL BUILDING FOR:
**MOUNT VERNON
OVERHEAD DOOR**

APRIL 27, 2021
zoning submission ☐
design development ☐
construction document ☒
bidding ☐
building permit submission ☐
not for construction ☐
record / archive ☐
other ☐
cadfile ☐
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job no.
21m01
drawn
HILL ENGINEERING

sheet
MP1

GREEN VALLEY DESIGN, LLC
112 Harcourt Rd., Suite 5
Mount Vernon, Ohio 43050
740-397-2282





prepared by
HILL ENGINEERING
3 W. Central Ave.
Delaware, Ohio 43015
740-363-0400

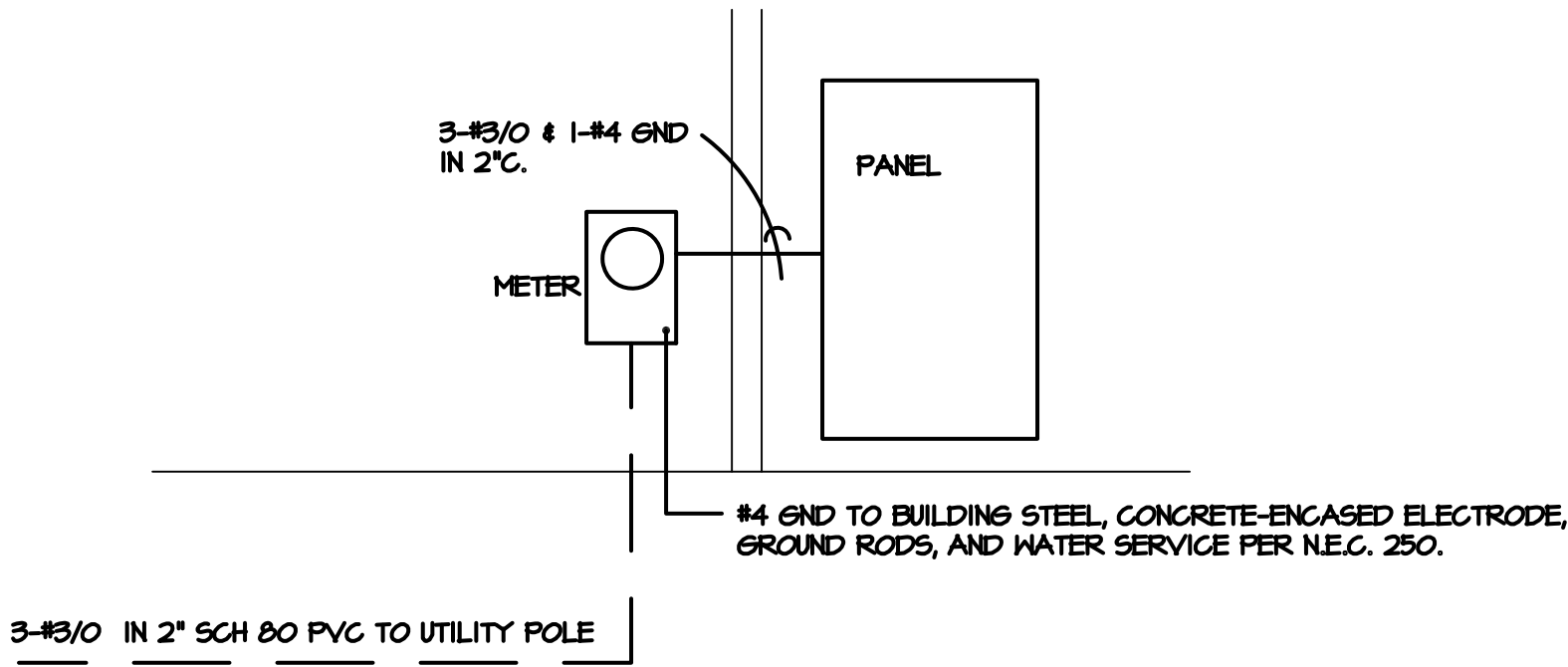
ELECTRICAL LEGEND	
SINGLE POLE SWITCH	\$
RECEPTACLE	Ⓢ
JUNCTION BOX	Ⓢ
30A MP DISCONNECT	Ⓢ
MOTOR RATED SWITCH	Ⓢ
WATER PROOF & GFI	Ⓢ
ABOVE COUNTER	Ⓢ
GROUND FAULT INTERRUPTER	Ⓢ

LIGHT FIXTURE SCHEDULE		
MARK	MANUFACTURER & MODEL	LAMPS
☐	COOPER HBLED LD5 12SE WA UNV LB40	7W LED
☐	COOPER 4NLH4040C	38W LED
☐	COOPER 45NLED LD4 45LSLW UNV LB40I	41W LED
OH	COOPER XTOR 3A W/ PHOTOCELL	26W LED
Ⓢ	COOPER APCHT W/ APRI REMOTE	LED
Ⓢ	COOPER APCL	LED
\$	1-10V LED DIMMER W/ ON-OFF SWITCH	
Ⓢ	PIR WALL MOUNT VACANCY DETECTOR W/ SWITCH COOPER ONW4D-1001-MV	

EXIT/EMERGENCY FIXTURES SHALL HAVE 90 MIN. EMERGENCY BATTERY

ELECTRICAL GENERAL NOTES

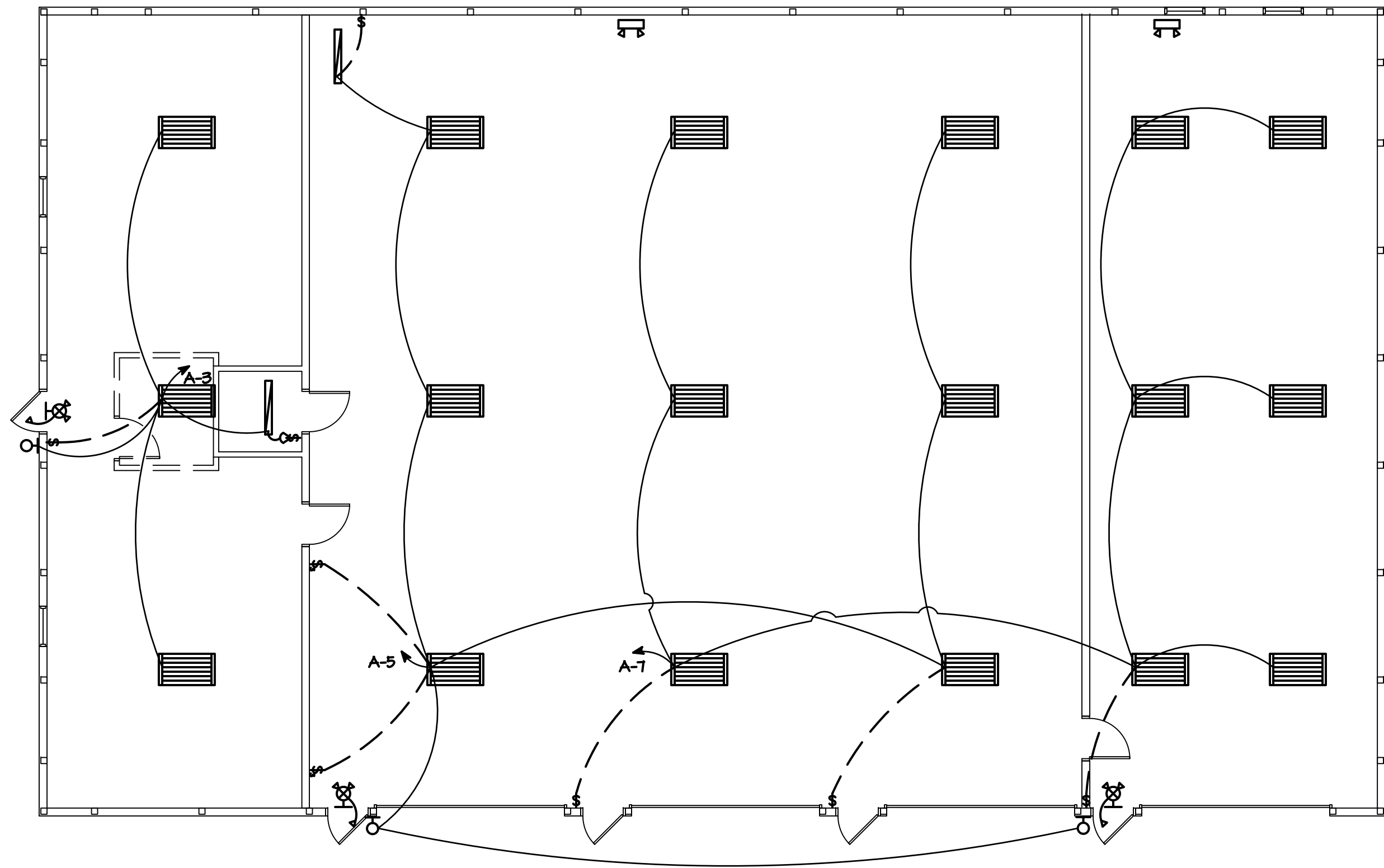
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL ELECTRICAL CODE.
- CONNECT ALL EMERGENCY AND EXIT LIGHTS TO LOCAL CIRCUITS AHEAD OF SWITCHING.
- ALL WIRING SHALL BE COPPER TYPE THHN OR THWN MINIMUM SIZE #12 AND SHALL BE RUN IN EMT OR RIGID CONDUIT. MC CABLE SHALL BE ACCEPTABLE FOR SWITCH AND RECEPTACLE WIRING IN OFFICE AREAS.
- LABEL INCOMING SERVICE PER N.E.C. 110.16 & N.E.C. 110.24(A).
- RUN EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELLS.
- RUN 3-#2 & 1-#6 GND IN 1-1/4" C. TO PANEL B.



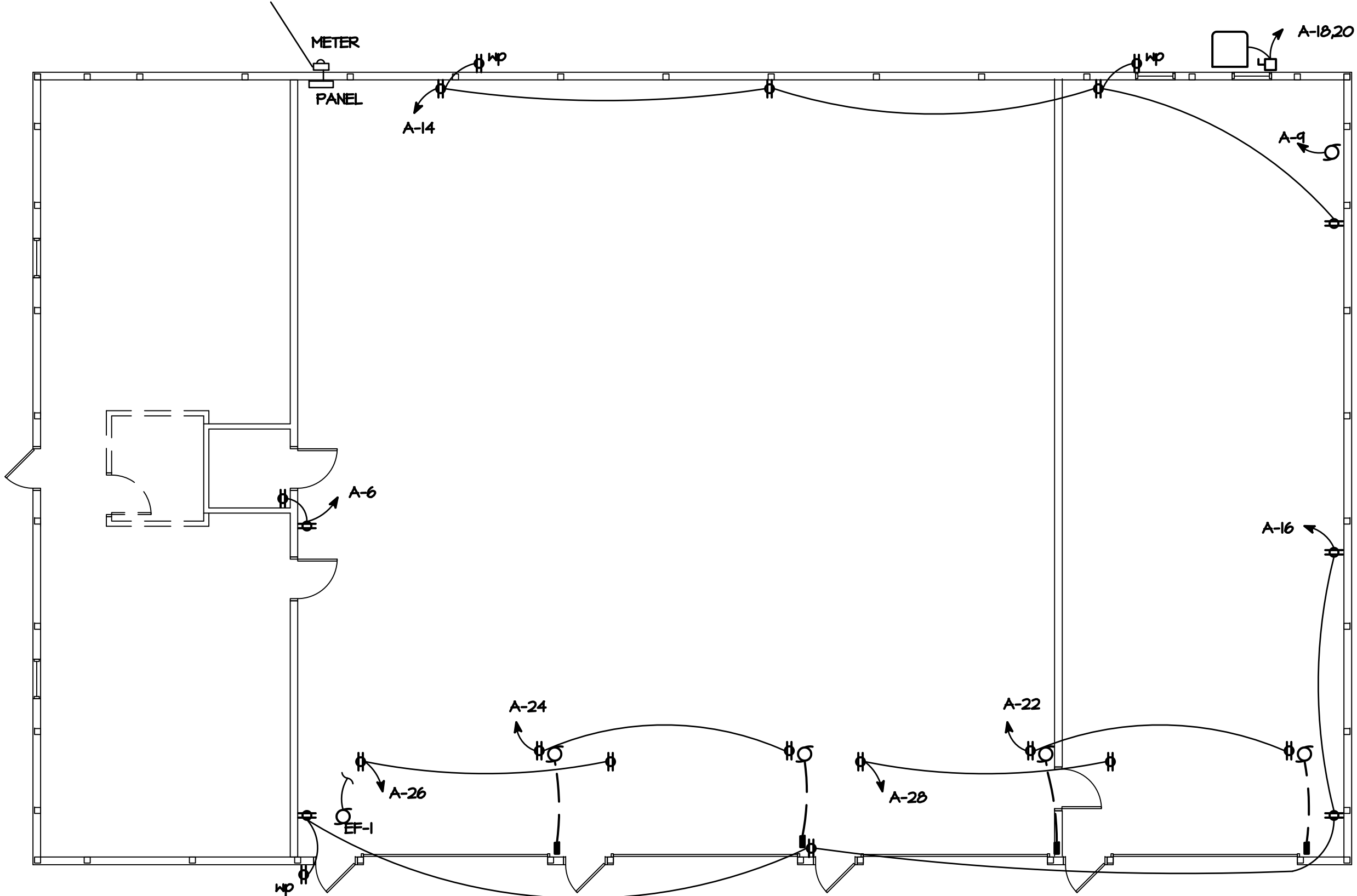
ELECTRIC RISER
NO SCALE

PANEL A									
SURFACE MOUNTED 120/240 VOLT 1Ø 3 WIRE 60 HZ 200 AMP MAIN BREAKER W/ SOLID NEUTRAL & GROUND- 10,000 A.I.C.									
LOAD	CB/P	CKT	WIRE	WIRE	CKT	CB/P	LOAD	CB/P	CKT
SPARE	20/1	1	12	12	2	20/1	SPARE		
LIGHTS	20/1	3	12	12	4	20/1	SPARE		
LIGHTS	20/1	5	12	12	6	20/1	RECEPT		
LIGHTS	20/1	7	12	12	8	20/1	SPARE		
FURNACE	20/1	4	12	12	10	20/1	SPARE		
SPARE	20/2	12	12	12	12	20/1	RECEPT		
		13	12	12	14	20/1	RECEPT		
SPARE	20/1	15	12	12	16	20/1	RECEPT		
SPARE	20/1	17	10	10	18	25/2	COND UNIT		
SPARE	20/1	14			20				
SPARE	20/1	21	12	12	22	20/1	OH DOOR		
SPARE	20/1	23	12	12	24	20/1	OH DOOR		
SPACE		25	12	12	26	20/1	UNIT HEATER		
		27	12	12	28	20/1	UNIT HEATER		
		29			30		SPACE		
		31			32				
		33			34				
		35			36				
		37			38				
		39			40				
		41			42				

PANEL LOAD = 175 KW = 73 A @ 240V, 1Ø

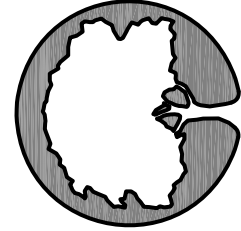


MAIN LIGHTING
SCALE: 1/8" = 1'-0"



MAIN ELECTRICAL
SCALE: 1/8" = 1'-0"

GREEN VALLEY DESIGN, LLC
112 Harcourt Rd., Suite 5
Mount Vernon, Ohio 43050
740-397-2282



A NEW COMMERCIAL BUILDING FOR:
**MOUNT VERNON
OVERHEAD DOOR**

APRIL 27, 2021
zoning submission ☐
design development ☐
construction document ☒
bidding ☐
building permit submission ☐
not for construction ☐
record / archive ☐
other ☐
cadfile ☐
21m01-e1
job no.
21m01
drawn
HILL ENGINEERING

sheet
E1