



Board of Zoning Appeals
Board Meeting

Agenda

October 20, 2021
5:30 PM

CALL TO ORDER

MINUTES APPROVAL

- Board of Zoning Appeals - Board Meeting - Oct 6, 2021 5:30 PM

BZA FILES

- 2021-BZA-21 : 406 E Gambier ST - Variance for Accessory Structure Height

ADJOURN



Board of Zoning Appeals Meeting: 10/20/21 5:30 PM
City of Mount Vernon Dept: **Board of Zoning Appeals**
Mount Vernon, OH 43050

SCHEDULED

Category: N/A
 Prepared By: Lacie Blankenhorn
 Initiator: Lacie Blankenhorn

BZA FILE (ID # 3418)

DOC ID: 3418

**2021-BZA-21 : 406 E GAMBIER ST - VARIANCE FOR ACCESSORY STRUCTURE
 HEIGHT**

Item Number	2021-BZA-21
Site Address	406 E Gambier ST
Parcel Number	66-06052.000
Zoning District	R-1 Single Family District
Presented By	Bryan and Melissa Donaldson

Quick Guide to Codified Ordinance Sections (may not be inclusive):

1160.02 Development Standards (R-1 Single Family District)

1173.06 General Requirements (Regulation of Accessory Uses and Buildings)

Request: Bryan and Melissa Donaldson request a variance for height of an accessory structure (garage) to build a 22.9 feet tall garage. See supporting documents for additional details.



City of Mount Vernon, Ohio
Board of Zoning Appeals

Request for Hearing

Applicant's Information

Owner's Name, Address and Phone

Bryan and Melissa Donaldson

Agent's Name, Address and Phone

Site Information

Site Address

406 E. Gambier St.

Legal Description

*Single Family Residence
Eastern Addition*

Parcel Number

*66-06052.000
66-06693.000*

Deed Volume and Page Number

1867-65

Zoning District

R1

Existing use of property

Private Residence

Proposed use of property

Building a detached garage

Hearing Request

Type of Hearing Requested

☒ Variance
Use

☐ Conditional Use

☐ Appeal of Decision

☐ Map Interpretation

☐ Substantially Similar

In the following section, please list a brief description of the request. Narrative statements and any additional documents or information required by the Zoning Code and Chapter 1155 should be attached to this application as separate sheets.

Request:

*Requesting to build the garage at 22.9 feet tall instead of
18 feet tall.*

I hereby certify that the information submitted on this application and on any sketches, drawings or other documents submitted with this application is true and exact.

Date:

9/20/21

By:

*Melissa J. Donaldson
Bryan Donaldson*

Status of Application

Filing Date

9/21/2021

Case Number

2021-BZA-21

Hearing Date

Oct 20, 2021

Fee deposit

\$75.00

Date Paid

9/21/21

Receipt Number

612

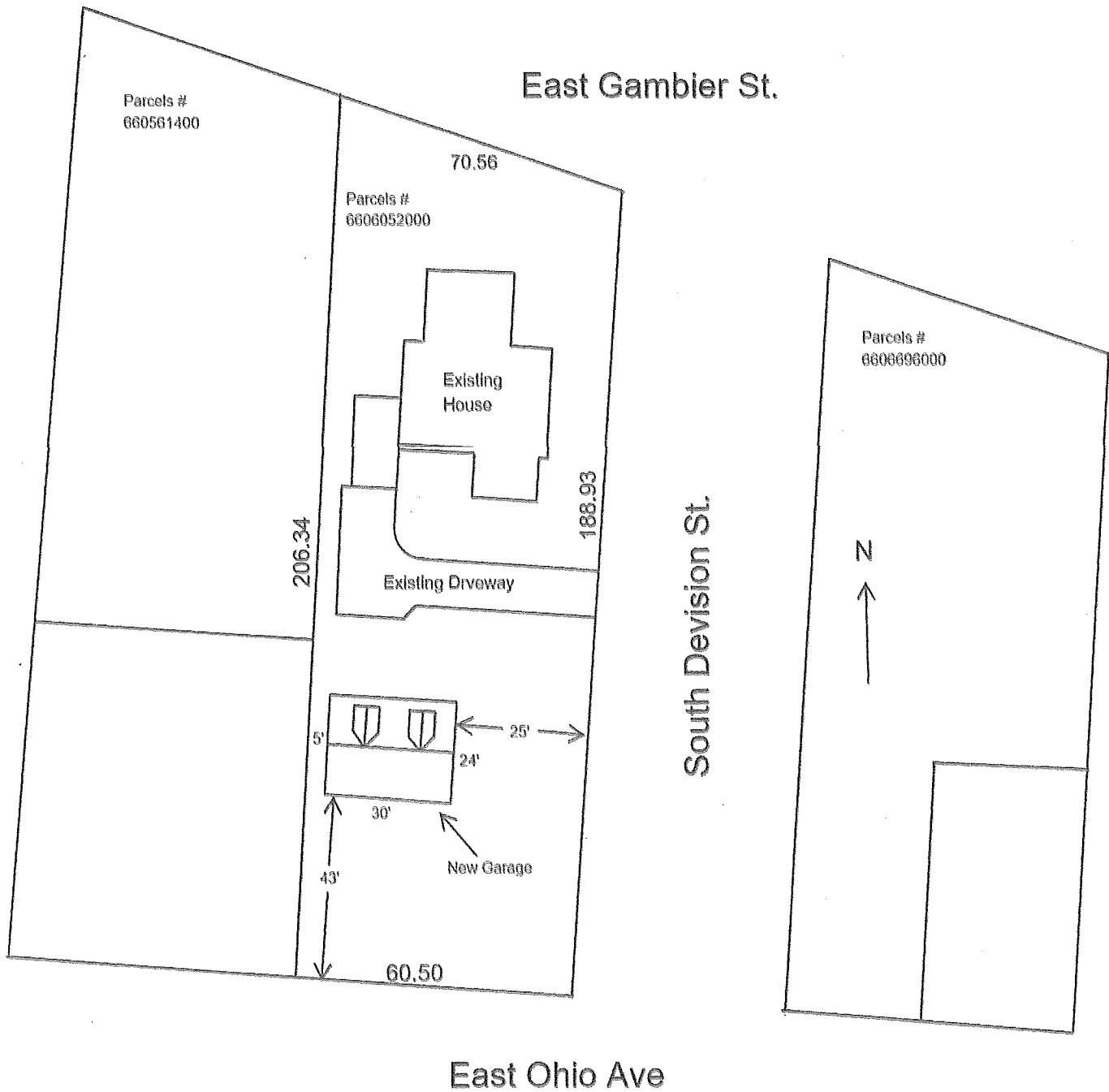
Status of Board's Action

☐ Approved

☐ Denied

Attachment: 2021-BZA-21 Application Packet (3418 : 2021-Bza-21)

Bryan And Melissa Donaldson
406 Gambier St E
Mount Vernon, Ohio 43050



Attachment: 2021-BZA-21 Application Packet (3418 : 2021-Bza-21)

Narrative statements

establishing and substantiating that the variance conforms to the following standards:

_____ 1) The granting of the variance shall be in accord with the general purpose and intent of the regulations imposed by this Zoning Ordinance on the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.

_____ 2) The granting of the variance will not permit the establishment of any use which is not otherwise permitted in the district.

3) Describe the special circumstances or conditions, applicable to the land or buildings for which the variance is sought, which are peculiar to such land or buildings and do not apply generally to land or buildings in the area, and which are such that the strict application of the provisions of this Zoning Ordinance would deprive the applicant of the reasonable use of such land or building. There must be deprivation of beneficial use of land.

4) Explain the proof of hardship created by the strict application of this Zoning Ordinance.

_____ 5) The granting of the variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.

_____ 6) The proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.

_____ 7) The granting of the variance requested will not confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district.

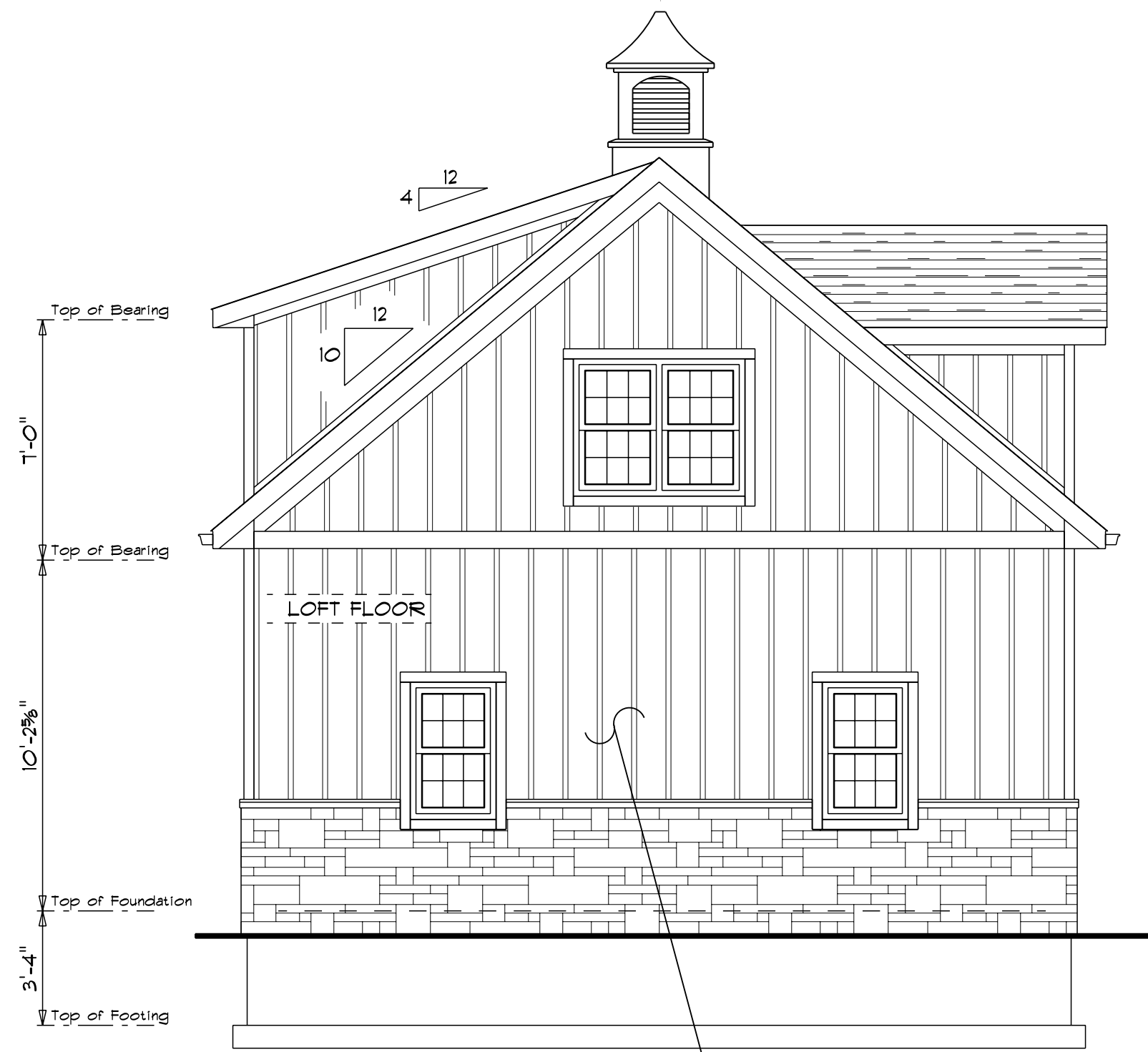
Narrative statements

Establishing and substantiating that the variance conforms to the following standards:

406 E. Gambier St.: Donaldson Residence

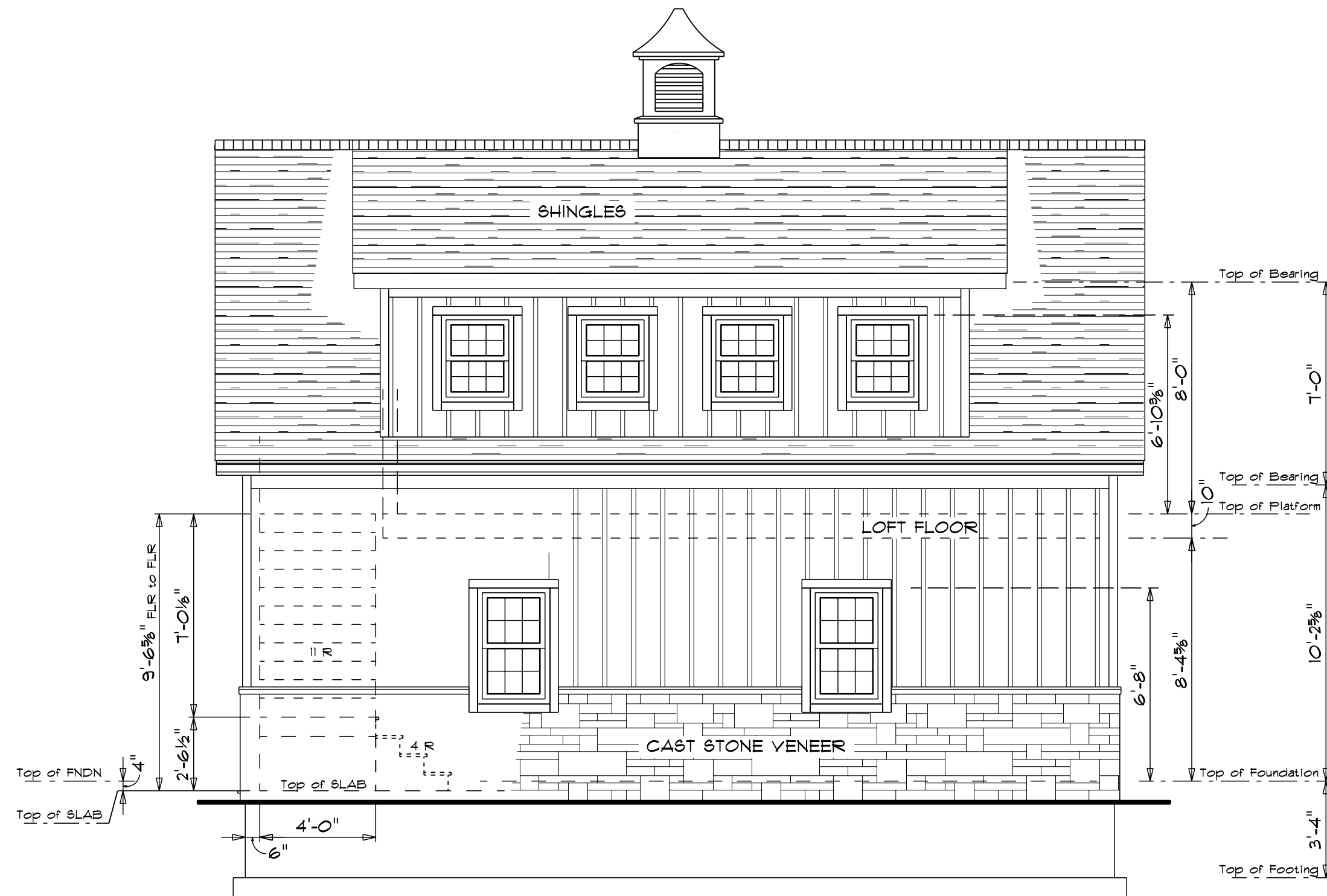
4. We purchased 507 E. Ohio Avenue in a dilapidated condition. After evaluating assessments from contractors, it was in our best interest to tear down the structure because of cost to bring the building to safe conditions. Through research of our property, 406 E. Gambier St. extended all the way back to Ohio Avenue. We found a map that showed the lot, which included a barn or carriage style structure on the backside of the property. In the early 1900s, the lot was divided into sub-par lots and a 2-story house was added as 507 E. Ohio. Our goal is to build a carriage style garage that will match the historical aesthetics of the neighborhood and those buildings of that time. Our contractor suggested this style of garage pitch would proportionally mimic a carriage garage of its kind many years ago versus a smaller pitched roofline and match proportionally to our home. We have invested time and resources into trying to help our neighborhood and restore the lot back to its historical roots. We would like to build this structure at the purposed measurements to optimize the investment into our home and our neighborhood.

5. To get the desired carriage style garage to match our home the cost would have been significantly higher and we would have to have changed the roofline of our home, which was not aesthetically pleasing. Contractors that we had evaluate this option informed us that we would have to have too big of a pitch and it would be detrimental to our house due to drainage and matching the very specific building materials. They felt it would take away from our current architectural design and our view out the back of our home causing a safety issue. We would have to move our electric pole, which would also become costly and may not have been feasible because of the length and shape of the lot.



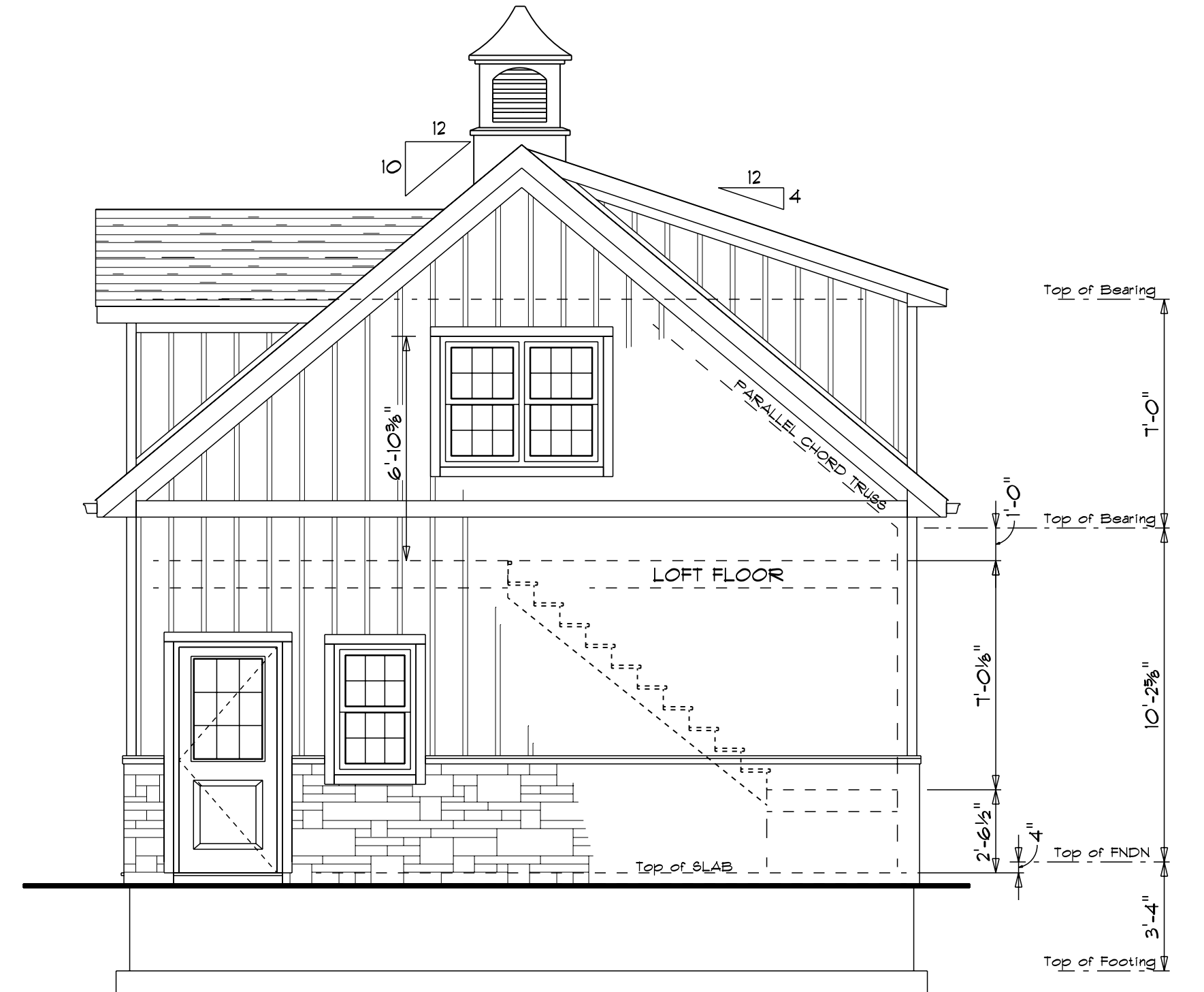
LEFT ELEVATION

SCALE 1/4" = 1'-0"



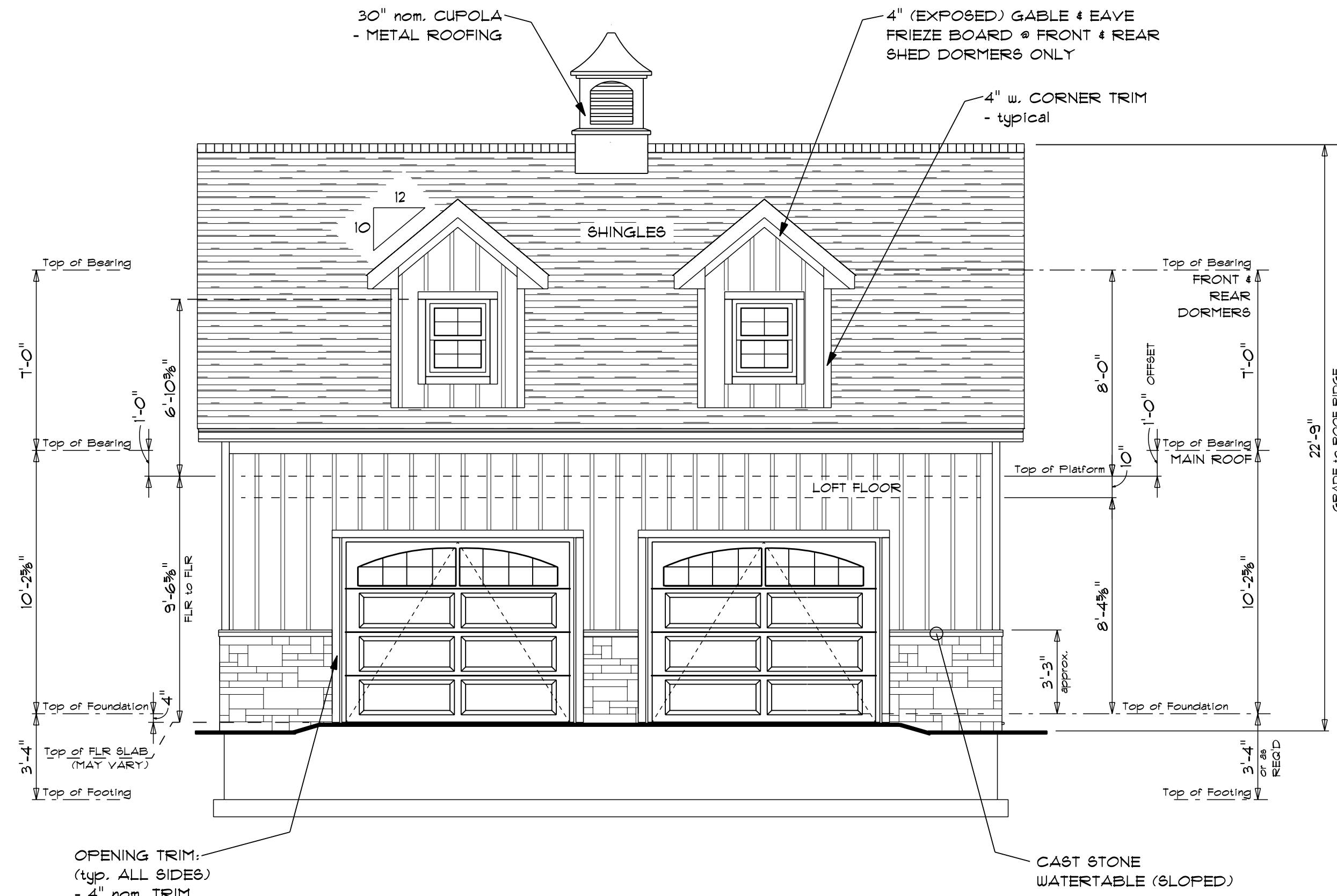
REAR ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"
SHEET SIZE D

0 4 8 12 16 20 24

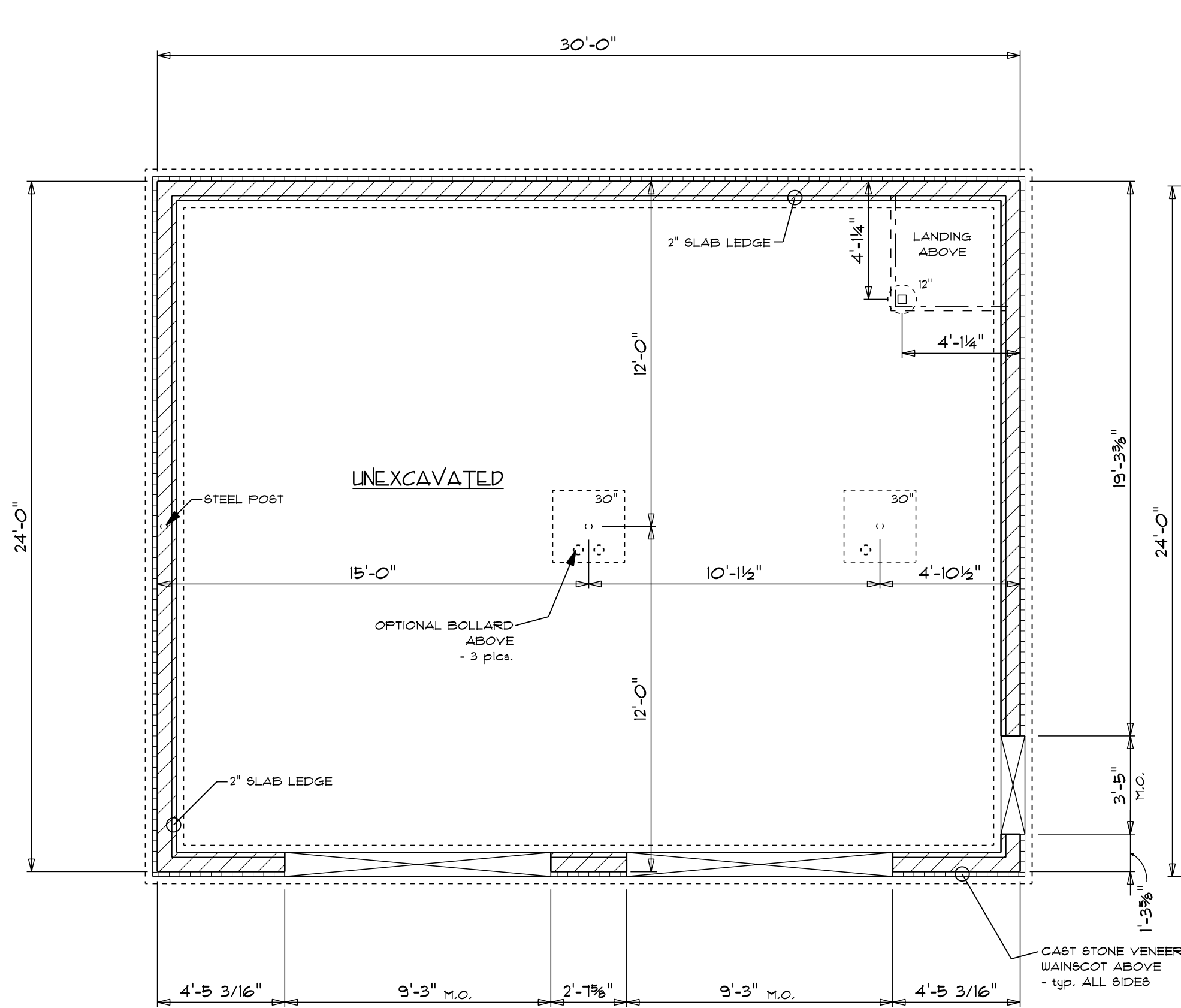
SHEET
A-1
OF 3

DRAWN BY: RNR
DATE: 08 / 21 / 2021
REVISION: 09 / 21 / 2021
PLOT DATA: 10:56 AM
DONALDSON GRG

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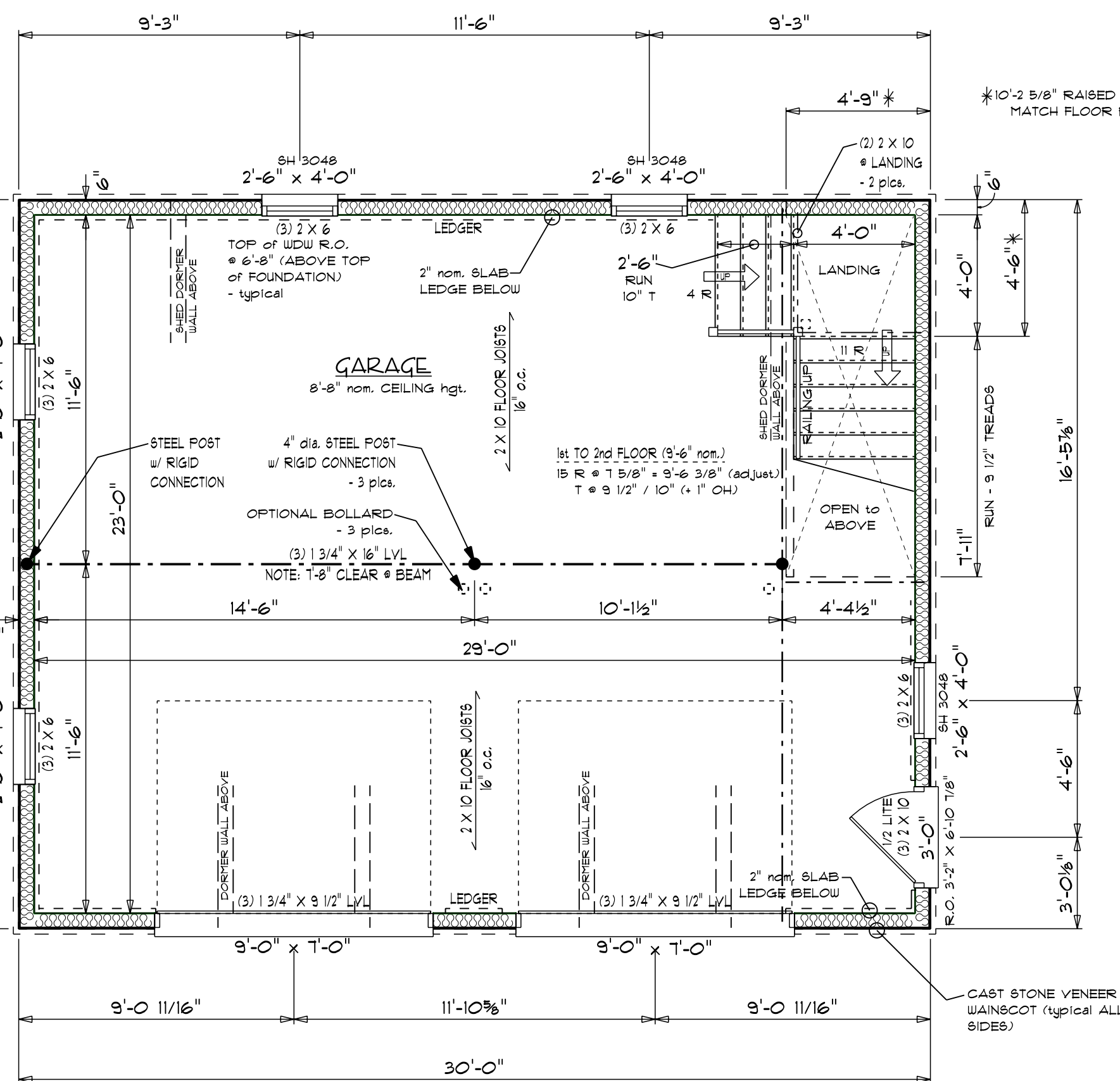
FOR: DONALDSON
PROJECT NAME: GARAGE
TITLE: FRONT & AUXILIARY ELEVATIONS

JDM STRUCTURES
CUSTOM BUILDERS
3840 COUNTY RD. 201, MILLERSBURG, OHIO 44654
www.jdmstructures.com
330.893.3674



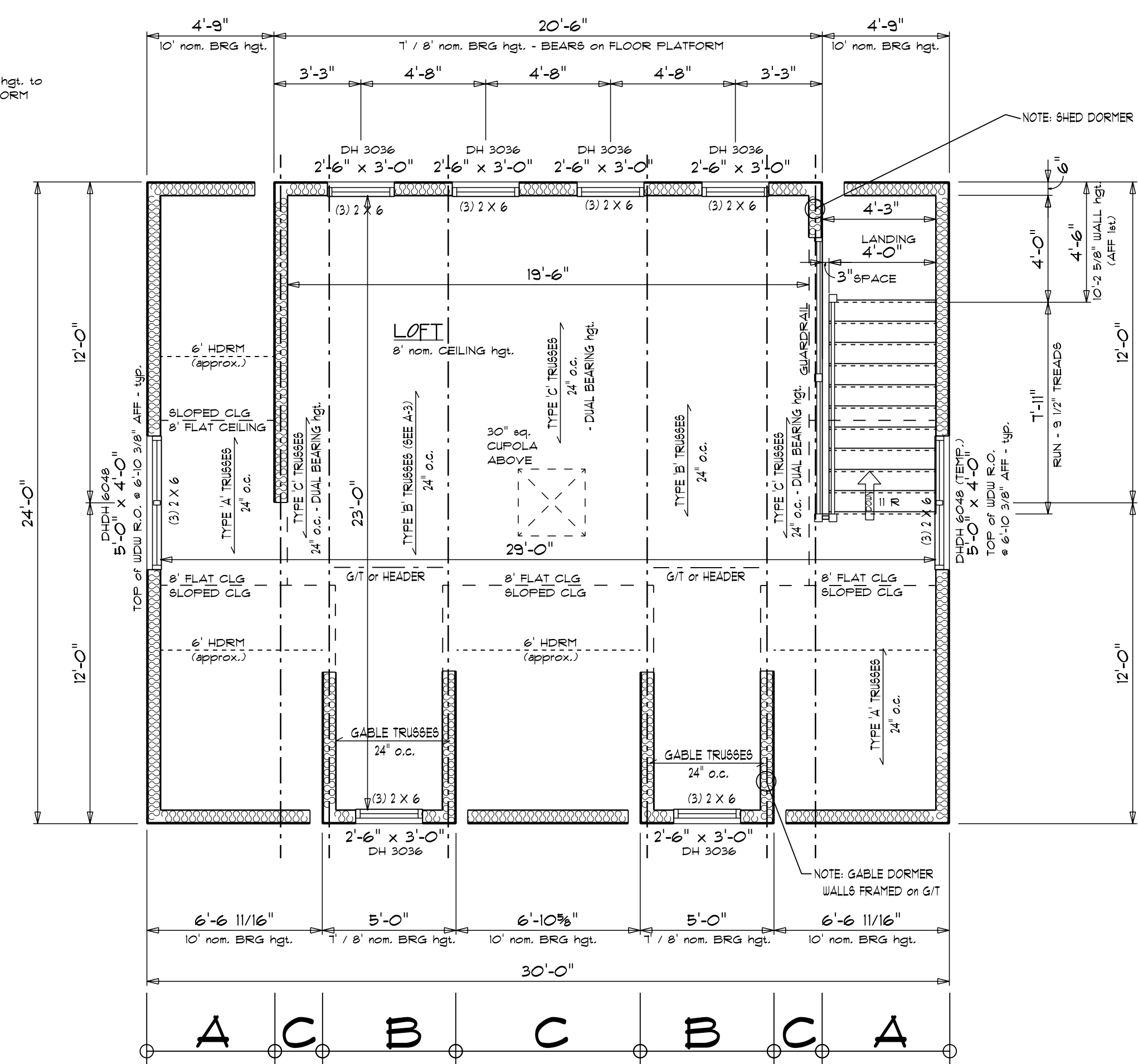
FOUNDATION PLAN
5 COURSE

SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN
10'-2 5/8" W WALLS

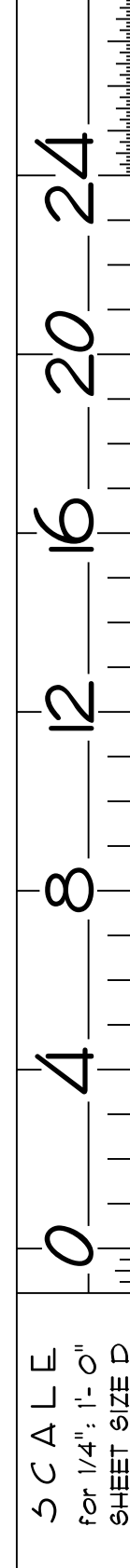
SCALE 1/4" = 1'-0"



LOFT FLOOR PLAN

SCALE 1/4" = 1'-0"

WALL DIMENSIONS (UNLESS OTHERWISE NOTED)	
* MASONRY WALLS - 8"	
* EXTERIOR STUD WALLS - 6"	



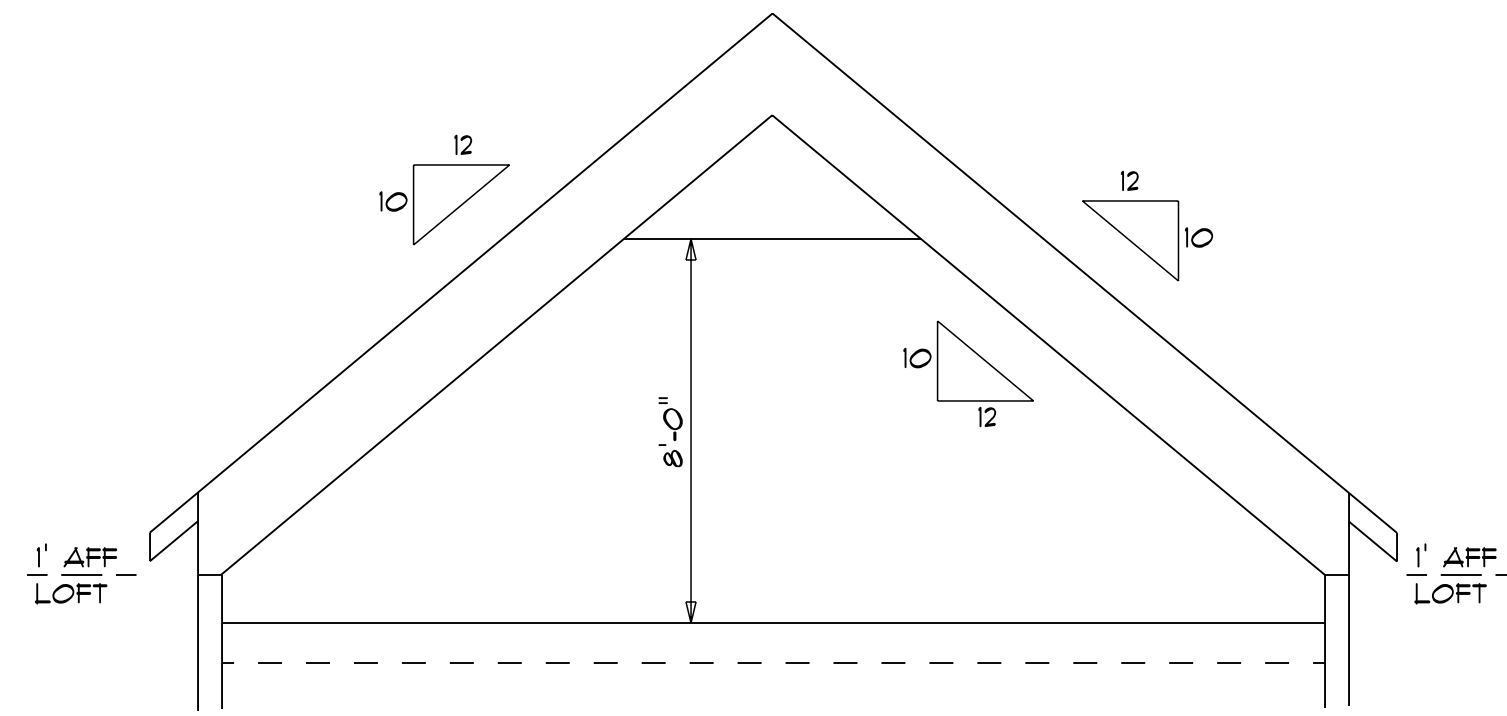
A-2
OF 3

DRAWN BY: RNR
DATE: 08 / 21 / 2021
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DONALDSON GRG

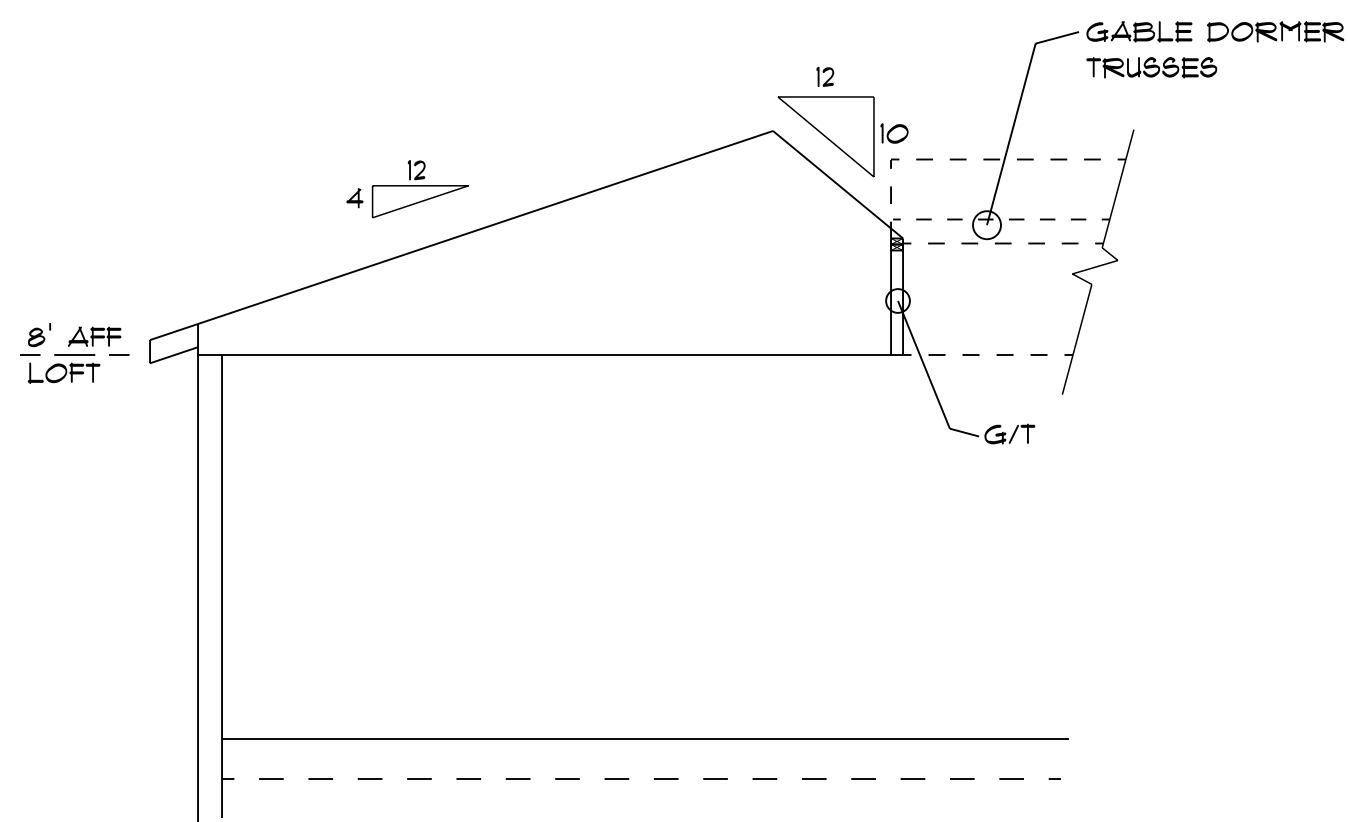
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FOR: DONALDSON
PROJECT NAME: GARAGE
TITLE: FLOOR PLANS

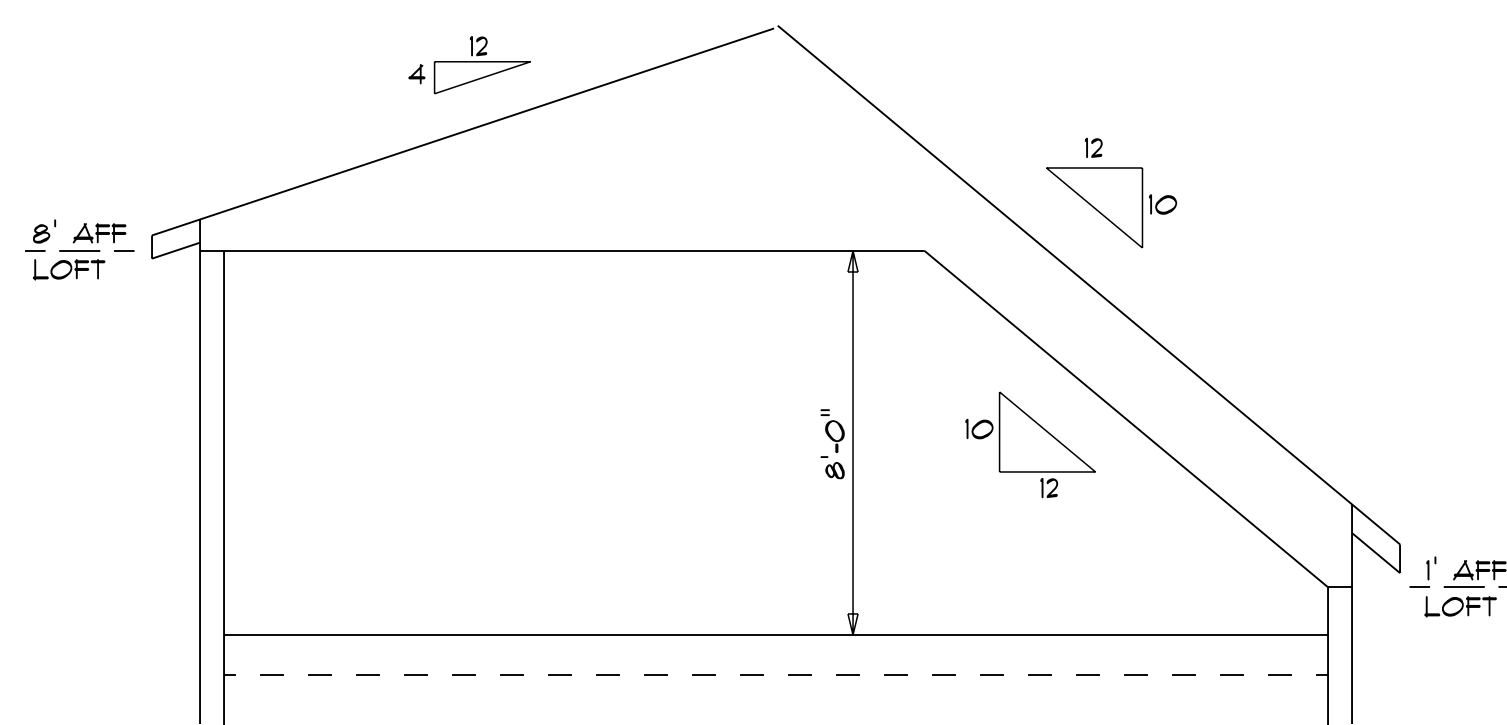
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A PARALLEL CHORD TRUSS
SCALE: 1/4" = 1'-0"



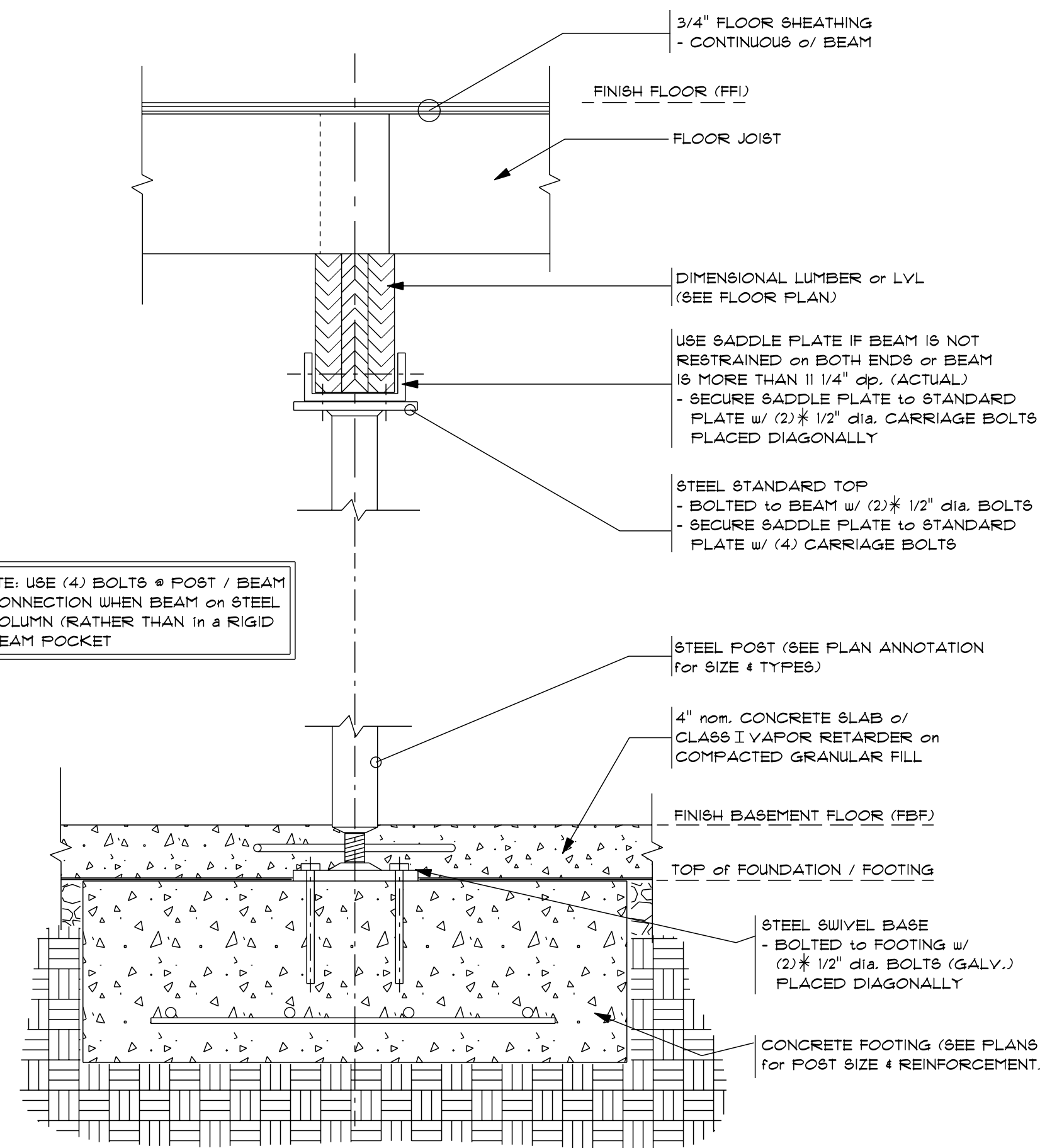
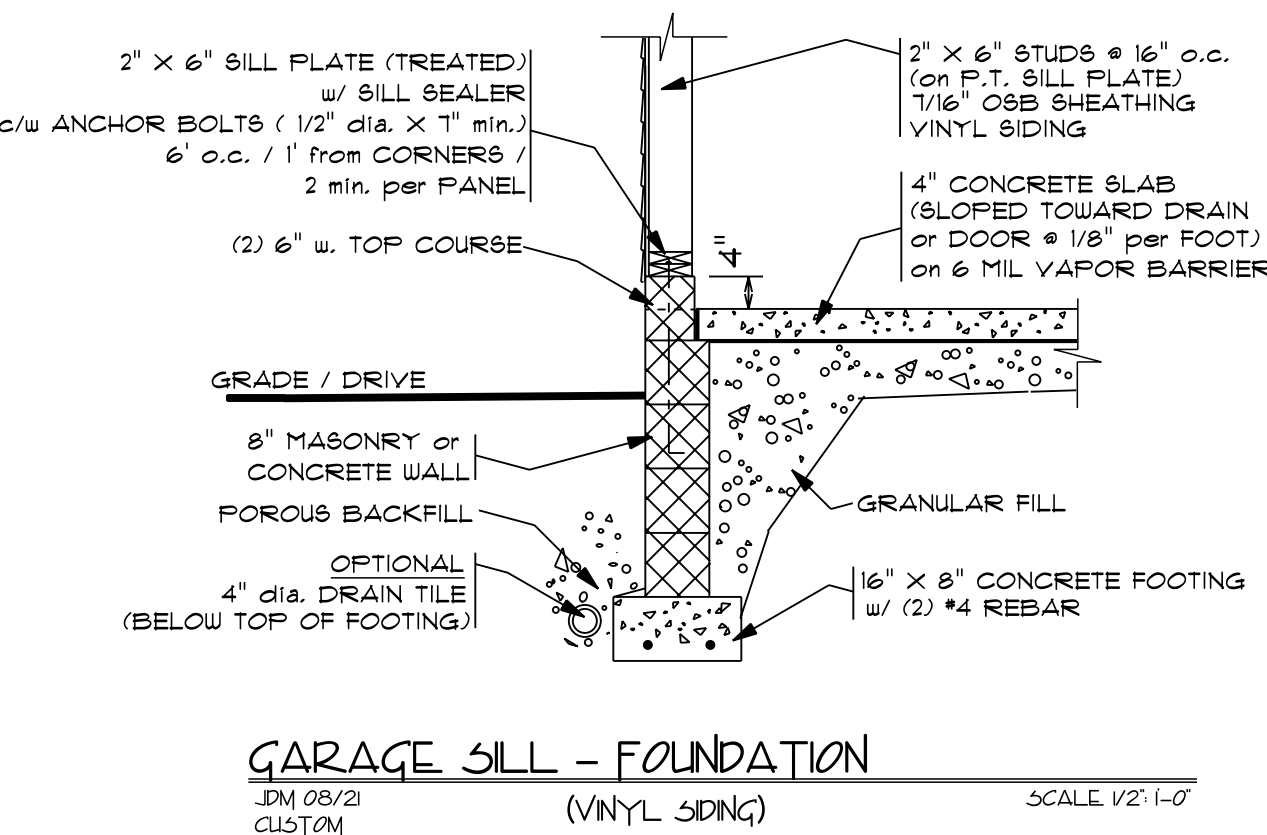
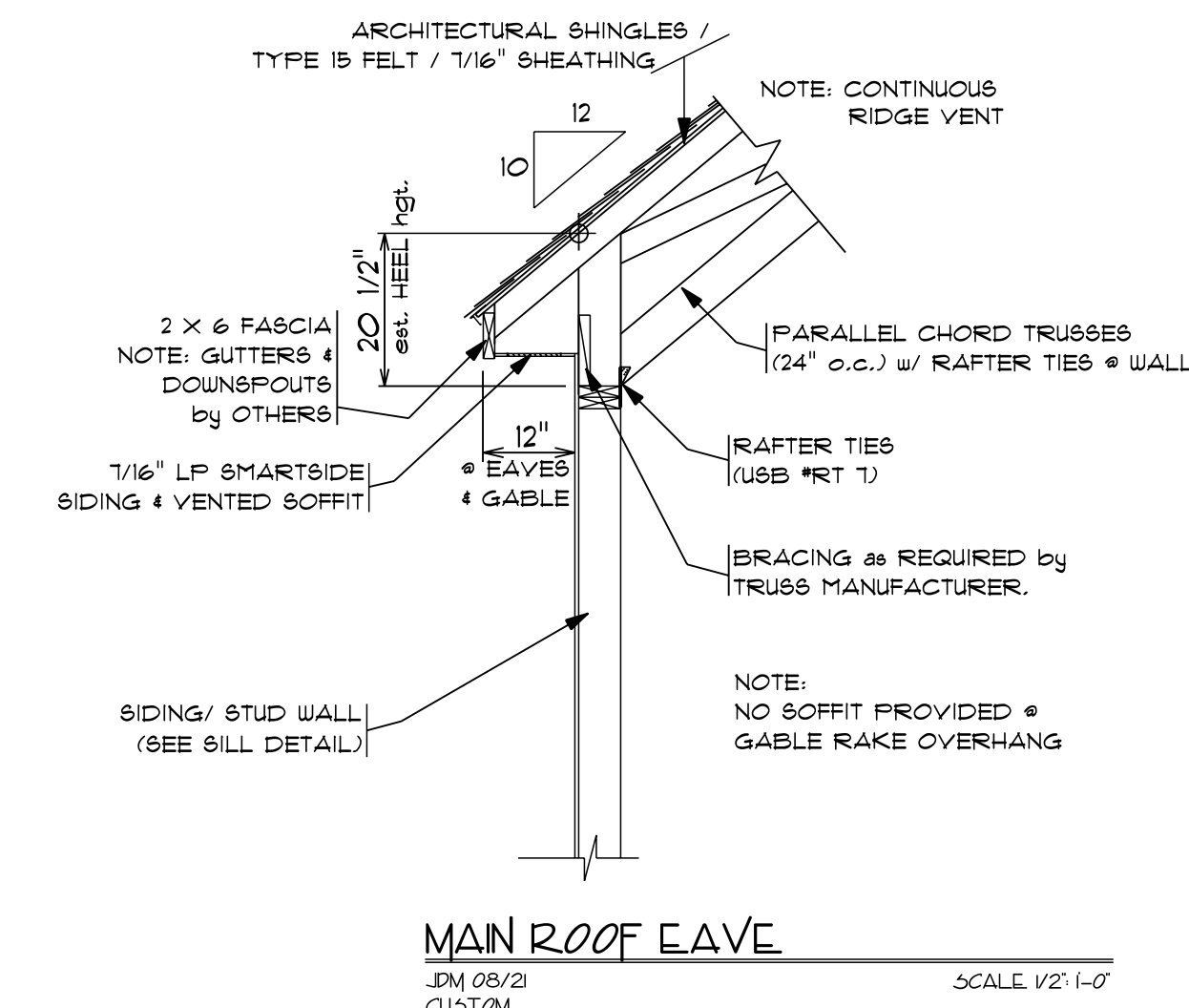
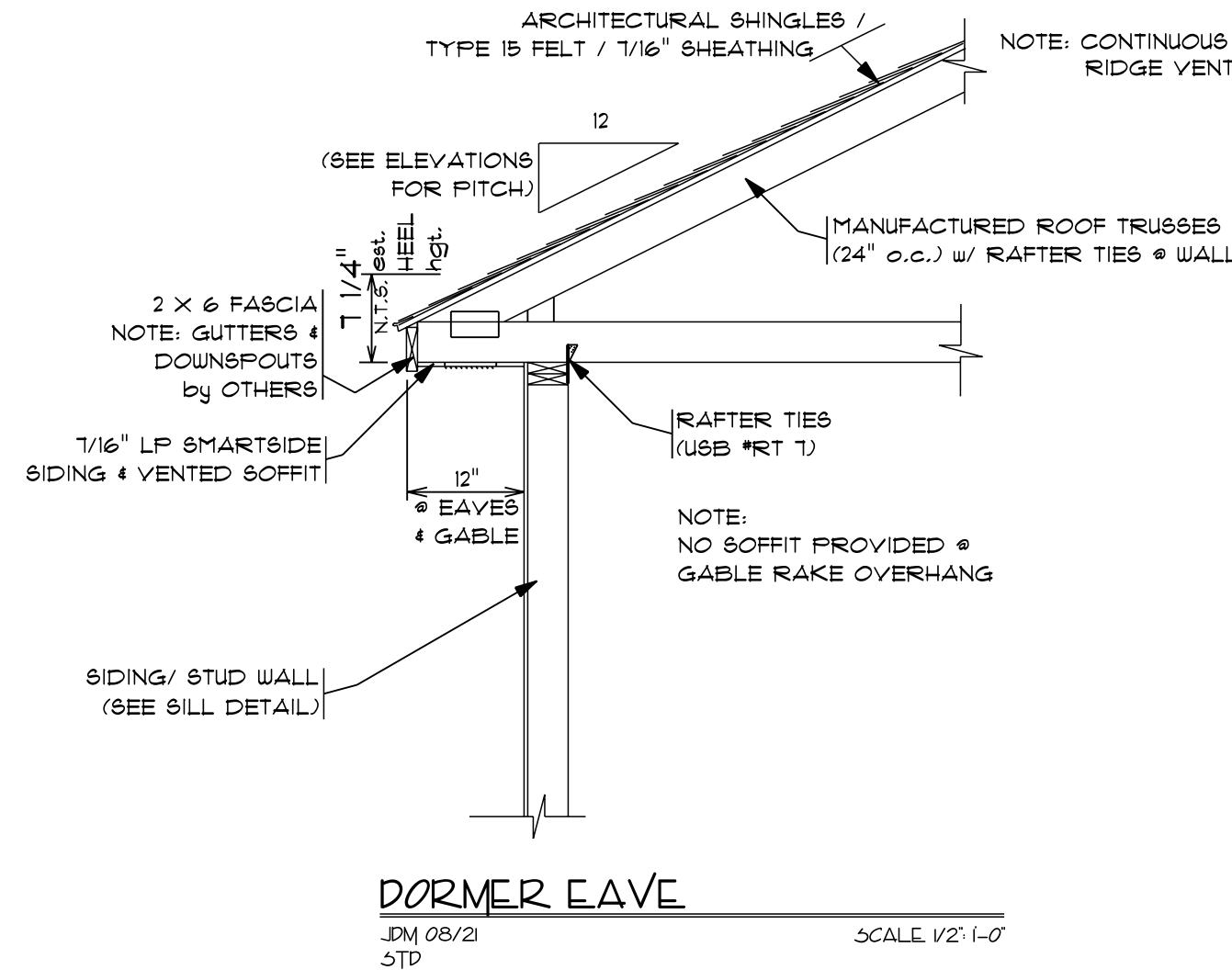
B SHED TO GABLE DORMERS
SCALE: 1/4" = 1'-0"



C SALTBOX TRUSS
SCALE: 1/4" = 1'-0"

TRUSS TYPES

VERIFY



WOOD BEAM @ STEEL POST
SECTION # 21.104.00
RNR - 07/25/18
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES

(UNLESS OTHERWISE NOTED) JDM 08-03-2021

THESE WORKING DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND ACCORDANCE OF LOCAL BUILDING CODES & ORDINANCES. MEETING THESE REQUIREMENTS IS THE SOLE RESPONSIBILITY OF THE OWNER OR BUILDER. 2018 RESIDENTIAL CODE OF OHIO WAS USED AS A REFERENCE FOR THE PREPARATION OF THESE DRAWINGS.

DESIGN LOADS USED (#/ S.Q. FT.)

- ASSUMPTIONS USED, MAY NOT REFLECT ACTUAL CONDITIONS OR REQUIREMENTS
- SOIL BEARING: 2000 - FIELD VERIFY WHERE EXPANSIVE SOILS, COMPRESSIBLE SOILS, SHIFTING SOILS or OTHER QUESTIONABLE CHARACTERISTICS ARE PRESENT, ADDITIONAL GEOTECHNICAL EVALUATION MAY BE REQUIRED.
- FLOOR LOADS:
 - DWELLING 40 LL/ 10 DL (L/360)
 - SLEEPING 30 LL/ 10 DL (L/360)
- ROOF LOADS: 25 SL/ 10 DL/ 10 CL (L/240)
- ROOF LINE DEPTH: 34"
- WIND DESIGN SPEED: 115 mph

BASEMENT/ FOUNDATION

- 3" dia. STEEL POSTS BASED ON "MONOPOST- 200 SERIES" BY TAPOO
- BEAM CENTERLINES SHOWN INDICATE E of WALLS ABOVE and MAY NEED TO BE OFFSET TO CLEAR STAIRS, WALLS, ETC.
- WHERE EXPANSIVE SOILS, COMPRESSIBLE SOILS, SHIFTING SOILS or OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE PRESENT, ADDITIONAL GEOTECHNICAL EVALUATION MAY BE REQUIRED.
- VERIFY ALL DRAIN, EQUIPMENT and UTILITY LOCATIONS and ENTRIES and REQUIREMENTS
- ALL FINISHED GRADES MUST BE 6" (min.) BELOW TOP of FOUNDATION WALLS and SHOULD BE VERIFIED BEFORE START of CONSTRUCTION.
- ALL FOOTINGS SHALL EXTEND BELOW LOCAL FRONT LINE DEPTH.
- VERTICAL STEPS IN FOOTINGS TO BE 2'-0" (max.) w/ CONTINUOUS REINFORCEMENT

CONCRETE

- BASEMENT FLOORS TO BE 4" thk. on 6 MIL VB or 4" COMPACTED GRANULAR FILL
- SLABS TO BE CUT @ 20' (max.) INTERVALS
- EXTERIOR SLABS SLOPED @ 1/8" per FOOT (min.)

MASONRY

- ANCHOR BOLTS
 - LOCATION: @ o.c. and 1' from CORNERS.
 - 3 5/8" in from OUTSIDE EDGE of FOUNDATION
- GROUT AND REINFORCE CORES @ ANCHOR BOLT LOCATIONS and INDICATED POINT LOADS
- FOUNDATION WALLS to BE REINFORCED per SECTION 404 (RCO)

ROUGH FRAMING

- THIS STRUCTURE WILL BE BUILT USING PANELIZED CONSTRUCTION
 - 12" typical WIDTH PANELS (20' max.)
 - ADJACENT PANEL STUDS GLUED & NAILED
 - BOTTOM PLATES GLUED & NAILED to SUBFLOOR
- WOOD MEMBERS TO BE # 8 SFF or BETTER
- WOOD JOISTS TO BE 2 X 10 PL SFF or BETTER (16' o.c.)
- HEADERS TO BE (2) 2 X 10 w/ 1/16" OSB SHEATHING
- LVL SIDING BASED on the FOLLOWING LVL PERFORMANCE DATA:
 - Fc: 2600 / Fv: 285 / E x 10⁶: 1.9 / E_x-L: 150
- ADD SOLID BLOCKING UNDER BEARING LOADS
- ALL WOOD (IN - WALL) POSTS to BE BLOCKED / BRACED @ MIDPOINT
- STANDARD HEADERS, VALLEYS, RIDGES, DOUBLES, ETC. MAY NOT BE SHOWN
- LOADING NOT SPECIFICALLY INDICATED WILL AFFECT STRUCTURAL SIZES NOTED
- TRUSS HEEL HEIGHT SHOWN @ 7 1/2" (minimum - ADJUST OTHERS as REQUIRED)
- ROOF TRUSS LOADS ASSUMED to BE on EXTERIOR WALLS w/ NO CONCENTRATED LOADS OVER OPENINGS, HIP GIRDER TRUSSES ASSUMED to BE 6" in from EXTERIOR WALL SURFACES.
- ROOF TRUSS NOTES on THESE DRAWINGS ARE FOR THE PURPOSE of GENERAL LAYOUT ONLY. ROOF TRUSS MANUFACTURER to SUPPLY INSTALLATION DIAGRAMS. VARIATIONS FROM ASSUMPTIONS SHOWN on THESE DRAWINGS MAY MODIFY FRAMING MEMBER SIZES.
- UPLIFT TIES TO BE USED on ALL TRUSSES to EXTERIOR WALL CONNECTIONS and EXTERIOR POSTS.

ELEVATIONS

- DECKS, RAILINGS, STAIRS MAY BE SHOWN DASHED on ELEVATIONS FOR CLARITY
- WINDOW HEADER HEIGHTS SHOWN @ 6'-10 3/8" AFF
- EXTERIOR STAIR & RELATED FOOTINGS MAY NOT BE SHOWN.

ROOFING

- ICE & WATER SHIELD SHALL BE INSTALLED @ ALL ROOF EAVES to 24" INSIDE THE EXTERIOR WALL LINE of THE BUILDING
- VALLEYS SHALL BE WOVEN SHINGLES over ICE & WATER SHIELD
- WALLS WHICH INTERSECT ROOF SHALL BE STEP FLASHED
- 1/16" ROOF SHEATHING SHALL USE METAL CLIPS BETWEEN TRUSSES
- RIDGE & EAVE VENTS TO BE INSTALLED per CODE REQUIREMENTS

SHEET A-3 OF 3	
DESIGN BY: JDM INITIAL ISSUE: 08 / 21 / 2021 REV/SION: 9/21/2021 PLOT DATA: 10:56 AM DONALDSON GRG	COPYRIGHT JDM STRUCTURES 2021 This drawing is the exclusive property of JDM STRUCTURES and shall not be used or reproduced without the written permission of JDM STRUCTURES.
FOR: DONALDSON PROJECT NAME: GARAGE	TITLE: WALL SECTION DETAILS & GENERAL NOTES
JDM STRUCTURES CUSTOM BUILDERS 5840 COUNTY RD. 201, MILLERSBURG, OHIO 44654 www.jdmcustombuilders.com 330.893.3674	

406 E. Gambier
Street
Carriage Style
Detached Garage

- 3 feet high stacked stone along the bottom to match the exterior of our home
- James Hardie White Siding
- Weathered wood 3-dimensional shingles
- 5 foot dormers on the front
- Shed dormer along the backside
- Cupola



Inspiration Pictures



GARAGE DETAILS



SIDING IDEAS:

OPTION 1:BOARD AND BATTEN (VERTICAL)**OPTION 2:**LAP BOARD (HORIZONTAL)**OPTION 3:**

COMBINATION OF BOTH: LAP BOARD ON THE GARAGE DOOR SIDE AND BOARD AND BATTEN ON THE OTHER 3 SIDES